



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

**Hillsborough River Interlocal Planning Board / TAC
Joint Meeting**

Tuesday, April 9, 2024, 1:30 pm
Meeting Location: Members-18th floor County Center / Online

River Board

- Michael Owen, Chair
- Alison Fernandez,
Vice Chair
- Lynn Hurtak

TAC

- Stu Marvin, Chair
- Alissa Sieben,
Vice Chair

1. **Call to Order**
2. **Roll Call**
3. **Pledge of Allegiance**
4. **Public Comment**
5. **Approval of Previous Meeting Summary**
 - ★A. RB: January 22, 2024*(p.3)
 - ★B. TAC: March 19, 2024*(p.6)
6. **Presentations, Reports & Status Updates**
 - A. Zoo Tampa Expansion, Mark Haney, Chief External Relations Officer
 - B. TAC Activity Update, Alissa Sieben, TAC Vice Chair

★7. Consistency Recommendation

- A. TAC
 1. Port Tampa Bay Minor Work Permit No. 70509(R1)* (p.9)
 2. Port Tampa Bay Minor Work Permit No. 77844* (p.32)
 3. Port Tampa Bay Minor Work Permit No. 78274* (p.56)
 4. Port Tampa Bay Minor Work Permit No. 78290* (p.78)
 5. Port Tampa Bay Minor Work Permit No. 78775* (p.101)
- B. RB
 1. Port Tampa Bay Minor Work Permit No. 77246*(p.116)
 2. Port Tampa Bay Minor Work Permit No. 77297*(p.126)
 3. Port Tampa Bay Minor Work Permit No. 77298*(p.137)
 4. Port Tampa Bay Minor Work Permit No. 77299*(p.148)
 5. Port Tampa Bay Minor Work Permit No. 77300*(p.159)
 6. Port Tampa Bay Minor Work Permit No. 77779*(p.170)
 7. Port Tampa Bay Minor Work Permit No. 78105*(p.182)
 8. Port Tampa Bay Minor Work Permit No. 78173*(p.191)
 9. Port Tampa Bay Minor Work Permit No. 78298*(p.204)
 10. Port Tampa Bay Minor Work Permit No. 24-012* (p.216)

8. Other Business

★ *Indicates Action Required* * *Indicates backup material provided*



Plan Hillsborough
planhillsborough.org
planner@plancom.org
 813 - 272 - 5940
 601 E Kennedy Blvd
 18th Floor
 Tampa, FL, 33602#

Technical support during the meeting may be obtained by contacting Priya Nagaraj at (813) 310-9709 or Priyan@plancom.org.

Members of the public may access this meeting and participate via the link:

[Click here to join the meeting](#)

Persons needing assistance reading or interpreting items in this document, free of charge, are encouraged to contact the ADA Coordinator at (813) 272-5940, or ADACoordinator@plancom.org. Plan Hillsborough (the Planning Commission and the Hillsborough River Board) cannot ensure accessibility for items produced by other agencies or organizations.



Hillsborough River Interlocal Planning Board & Technical Advisory Council

January 22, 2024
9:30 a.m.

Meeting Location:
County Center/Online

Hillsborough River Interlocal Planning Board Meeting Summary

Present

Michael Owen, Chair

Lynn Hurtak, COT

Stu Marvin, TT TAC Citizen Rep

Shawn College, Exec Dir

Melissa Dickens, TPC

Alison Fernandez, TT

Dallas Evans, HC TAC Citizen Rep

Rich Brown

Lizzie Baker, TPC

1. Call to Order

Commissioner Owen called the meeting to order at 9:30 AM.

2. Roll Call

An in-person quorum was met

3. Pledge of Allegiance

Commissioner Owen led in the Pledge of Allegiance

4. Public Comment

None.

5. Approval of Previous Meeting Summary

A. River Board:

- October 23, 2023

Councilmember Hurtak moved to approve the River Board minutes, seconded by Councilmember Fernandez. The voice vote passed unanimously.

6. Presentations, Reports & Status Updates

A. 2024-2029 Plan Hillsborough Strategic Plan (Melissa Dickens, TPC)

- Went over the background of the plan
- Looked at the project timeline and the timeline
- Reviewed the highlights from the All Staff Survey and the Board Retreat
- Looked at the overview of the draft and the four pillars and goals – the numbering does not indicate priority: Integrated and Connected Communities, Partnerships and Community Engagement, Resilient Natural and Built Environment, Technology and Operational Enhancements
 - Highlighted how the TPO fits into each of the pillars
 - Received comments from the Planning Commission to refine the Integrated and Connected Communities goal

- Went over the next steps and presentation schedule

Discussion:

There is a piece of property in Temple Terrace that the city is considering for the development of public river access facilities. It was asked if that is something that would need to be approved by the Planning Commission. It was stated that the strategic plan is about Plan Hillsborough priorities and not specific public policy or regulation. The project being asked about would be done through the EPC, requiring a wetland permit and port authority permit. It was noted that public access to the river is encouraged.

Councilmember Hurtak moved to support the report, seconded by Councilmember Hernandez. The voice vote passed unanimously.

B. TAC Activity Update

- New Hillsborough County representative to the TAC, Mr. Dallas Evans
- Sierra Club boat parade in December was smaller but nice
- People have put a bright light in the water off their docks; interesting to see wildlife in the water. There was a 3' shark spotted
- The manatees are back
- The City of Tampa and stakeholders are going to meet on February 2 with the water department. Looking for healthy flows on the river, a healthy river, and good water for the area.
- Looking at other possibilities for bringing treated wastewater from the Port to the reservoir
- The TAC has been fairly routine. Everyone is watching the German American Club.
- The two things to find consistent with the master plan are recommended
- The colder weather has kept the boat rentals on the river down

Discussion:

Zoo Tampa presented to the TAC since the last Board meeting. There were no concerns to pass on at this time. Waiting for the technical and engineering drawings. Cleanup of the industrial area and animal waste has always been a concern. It was asked if Zoo Tampa would present to the River Board at some point. That could be arranged.

7. Consistency Determinations

- A. Port Tampa Bay Minor Work Permit No. 72226(R1)
- B. Port Tampa Bay Minor Work Permit No. 76866

Councilmember Fernandez moved to find all items consistent with the River Board Master Plan, seconded by Councilmember Hurtak. The voice vote passed unanimously.

8. Other Business

- A.** Next meeting is April 9, 2024 at 1:30 PM (Joint meeting with TAC)
- B.** There was discussion about the River Board being kept informed about all of the development along the river with current project updates and future projects.
- C.** There was a question about how to handle hunting along the river in Temple Terrace and the sound of firearm discharge. Development could have encroached on hunting areas. Could contact the Hillsborough County Sheriff's Office Marine Unit and Fish and Wildlife.
- D.** Coming up on the Five-Year evaluation of the Lower Hillsborough River MFLs Flow Status review. It was noted that 2023 is the first calendar year that minimum flows have been met. This was significantly influenced by the TAC. There was discussion about areas being affected by drought.

The meeting adjourned at 10:14 AM



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Michael Owen, Chair

Lynn Hurtak, COT

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**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. A. 1. Minor Work Permit No. 70509(R1) (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

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Harry Cohen VICE-CHAIR
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Ken Hagan
Pat Kemp
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Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

March 12, 2024

Michael Fout (Sent via email)
Fout.michael@gmail.com
2204 N. Riverside Drive
Tampa, FL 33602

Permittee:	MICHAEL FOUT
Permit Number:	70509(R1)
Type of Permit:	INTENT TO ISSUE MINOR WORK PERMIT FOR THE INSTALLATION OF RIP-RAP AND NATIVE WETLAND PLANTINGS WITH REGRADING FOR SHORELINE STABILIZATION
Project Address:	2204 N. RIVERSIDE DRIVE, TAMPA, FL 33602
Issuance Date:	APRIL 6, 2024
Expiration Date:	APRIL 6, 2027

Dear Mr. Fout:

This Intent to Issue the Minor Work Permit (Permit) for the installation of rip-rap and native plantings with regarding for shoreline stabilization is issued to Michael Fout (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until April 6, 2024.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to

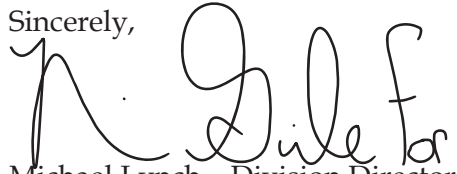
Environmental Excellence in a Changing World

Environmental Protection Commission - Roger P. Stewart Center
3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org

submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink that reads "Michael Lynch". The signature is written in a cursive, flowing style.

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcso.com
Brenda Greenwald - greenwaldb@hcpafl.org
Bryan Flynn - Environmental Science Associates - bflynn@esassoc.com
Thomas Ries - Ecosphere Restoration Institute, Inc. - tries@ecosphererestoration.org
City of Tampa - Construction Services Department - dave.jennings@tampagov.net
City of Tampa - Real Estate Department - Monica.Ammann@tampagov.net -
John.Archer@tampagov.net
Shawn College - colleges@plancom.org
Zorb LLC - erich.mccartney@gmail.com
David Reed - dreed@shepardcap.com



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 70509(R1)

PERMITTEE: MICHAEL FOUT
2204 N. RIVERSIDE DRIVE
TAMPA, FL 33602

AGENT: ENVIRONMENTAL SCIENCE ASSOCIATES
BRYAN FLYNN
5404 CYPRESS CENTER DRIVE, SUITE 125
TAMPA, FL 33609

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 221 LINEAR FEET OF RIP-RAP AND THE STABILIZATION OF APPROXIMATELY 142 FEET OF SHORELINE WITH NATIVE WETLAND PLANTINGS AND REGRADING PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: 2204 N. RIVERSIDE DRIVE, TAMPA, FL 33602 /
HILLSBOROUGH RIVER

DATE OF ISSUE: APRIL 6, 2024
EXPIRATION DATE: APRIL 6, 2027

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

ENVIRONMENTAL PROTECTION COMMISSION
MINOR WORK PERMIT No. - 70509(R1)
SPECIFIC CONDITIONS
April 6, 2024

1. **Addendum to MWP 70509.** This permit revision is an addendum to MWP 70509 issued on January 19, 2021 for the construction of a dock, a floating dock, a covered boatlift, a non-covered PWC lift, and a sundeck which has been completed in its entirety.
2. This Permit revision authorizes the installation of approximately 221 linear feet of rip-rap and stabilization of approximately 142 linear feet of shoreline with native wetland plantings.
3. This Permit does not authorize the filling of wetlands other than the placement of rip-rap and the placement of sandy fill for the native estuarine planting zone as shown on the EPC approved Permit exhibits.
4. This Permit does not authorize the placement of pilings or any other structures extraneous to the installation of the rip-rap revetment.
5. Be advised, if the proposed activity approved by this Permit is altered, a modification to this Permit with applicable application and fee may be required. Modifications include, but are not limited to, changes to the footprint of the proposed activity or adding structures such as: floating vessel platforms, floating docks, roofs, canopy covers, personal watercraft (PWC) lifts, etc. Modifications require review by EPC.
6. **The enclosed Permit Card shall be conspicuously displayed at the project site once work on this project has been initiated and shall remain so displayed until the project has been completed. Within fifteen (15) days of completion of this project, EPC is to be notified via email wetlandscompliance@epchc.org.**

RIP-RAP CONSTRUCTION SPECIFIC CONDITIONS

7. The structure shall be constructed as depicted per EPC approved Permit exhibits A-2(R1) through A-12(R1). **The dock structure depicted in the Permit exhibits is for illustration purposes only and is not approved as part of this Permit.**
8. The rip-rap shall be placed within the property limits as depicted per EPC approved Permit exhibits A-1(R1), A-4(R1), A-5(R1), A-7(R1), and A-8(R1).
9. During the installation of the rip-rap material, a floating turbidity curtain and/or silt fence shall be deployed waterward of the work site and attached from adjacent shoreline to adjacent shoreline. The turbidity curtain/silt fence must remain in place until the work has ceased and any resultant construction-related turbidity has settled out. These measures should be removed as soon as water quality returns to sustainable background levels and/or all areas of disturbed soils are stabilized.
10. This Permit does not authorize the rip-rap installation to cover or obstruct any existing storm water outfall pipes.
11. The slope of the rip-rap revetment, in feet, will not exceed one (1) vertical to two (2) horizontal as depicted per EPC approved exhibits A-9(R1), A-10(R1), and A-11(R1).

12. The horizontal distance from the approximate mean high water line must be no more than 10 feet as depicted per EPC approved exhibits A-6(R1), A-7(R1), A-8(R1), A-9(R1), A-10(R1), and A-11(R1).
13. The rip-rap material shall consist entirely of clean concrete rubble or natural boulders one (1) foot to three (3) feet in average diameter as described per Construction Note #5 of the EPC approved Permit exhibit A-3(R1). No reinforcing rods or other similar protrusions in concrete rubble shall be exposed and the rip-rap material shall be free of attached sediments. The use of asphalt or other organic materials is prohibited.
14. Filter fabric shall be placed as described per Construction Note #9 of the EPC approved Permit exhibit A-3(R1).
15. The rip-rap material shall remain unconsolidated.
16. This Permit does not authorize any dredging activity.
17. All wetland vegetation, including but not limited to mangroves, must be preserved during all construction authorized under this Permit. No mangrove removal is allowed. Further, no impacts to existing submerged aquatic vegetation, coral communities or oyster beds shall occur under this Permit.

PLANTING SPECIFIC CONDITIONS

18. Only the native, non-nuisance, vegetation listed in EPC approved permit exhibits A-9(R1) through A-12(R1) may be planted.
19. At a minimum, plants shall be spaced on two (2) foot centers
20. The applicant is responsible for removing non-native, nuisance vegetation from the native shoreline area.
21. Re-grading shall be limited to the amount necessary to correct the erosion and provide an adequate slope for plant recruitment and vegetation.

U.S. ARMY CORPS OF ENGINEERS SPGP DETERMINATION

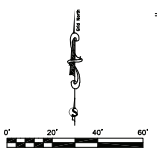
Your proposed activity as outlined on your application and attached drawings does not qualify for Federal authorization pursuant to the State Programmatic General Permit and a SEPARATE permit or authorization shall be required from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345 or ENG FORM 6082, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at:

<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

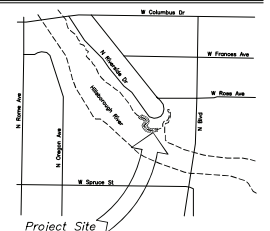
Legend of Symbols & Abbreviations

- Found Iron Pipe or Nail
● Set 3/8" Capped Iron Rod
● Temporary Benchmark
● Longevity Benchmark
● DTM
● DTM
● DTM
● M
● S
● L
● L
● L
● L

Boundary, Partial Topographic & Tree Survey
Riverside Drive Living Shoreline
Section 14, Township 29 South, Range 18 East
Hillsborough County, Florida



Vicinity Map



EPC PERMIT
A-1(R1) LMC EXHIBIT

Ownership Information

- Parcel 1: 701 S. Healey, Suite 102, 149 Tampa, FL 33606
Parcel 2: 2230 W. Peninsula Drive, Tampa, FL 33602
Parcel 3: 2330 W. Peninsula Drive, Tampa, FL 33602
Parcel 4: 2274 W. Peninsula Drive, Tampa, FL 33602

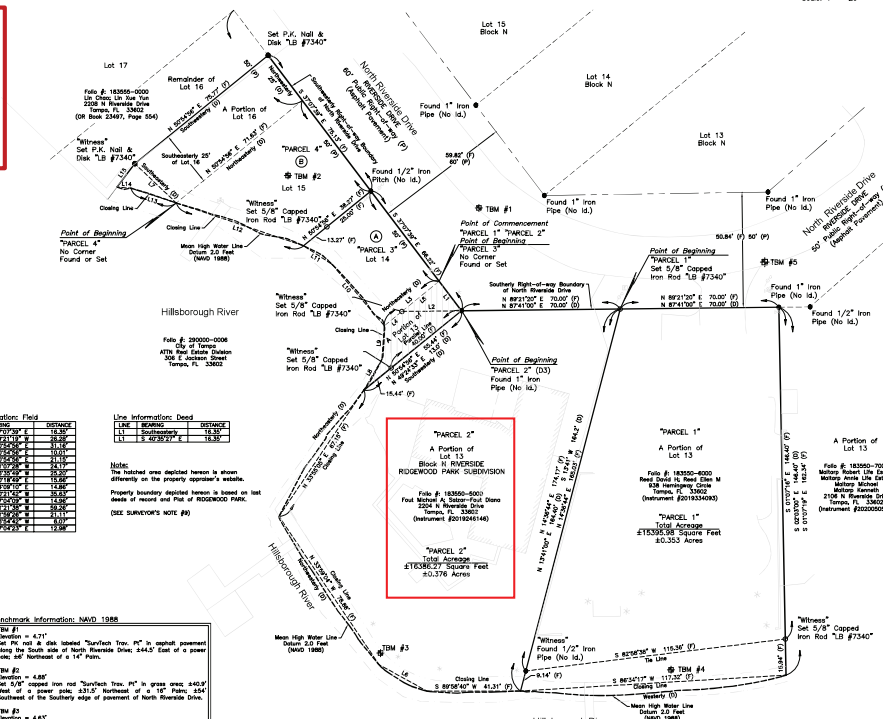
Table with 2 columns: Line, Stationing, and Distance. Lists line information for various parcels.

Note: The finished area depicted herein is shown, differently on the property operator's website. Property boundary depicted herein is based on last issue of record and Plan of Record/PORR. (SEE SURVEYOR'S NOTE #8)

Table with 2 columns: BM # and Elevation. Lists benchmark information for NAVD 1988.

Surveyor's Notes

- 1) Paper records of this survey are not used without the original drawings and related...
2) The location of any boundary line...
3) The location of any boundary line...
4) The location of any boundary line...
5) The location of any boundary line...
6) The location of any boundary line...
7) The location of any boundary line...
8) The location of any boundary line...



Legal Description

PARCEL 1: (see instrument #201904683) Commencing at the point of beginning of the right-of-way line of Riverside Drive...
PARCEL 2: (see instrument #201904684) Commencing at the point of beginning of the right-of-way line of Riverside Drive...
PARCEL 3: (see instrument #202203602) Lot 13 and 14 in Block N, out of Lot 14 in Block Riverside 'N'...
PARCEL 4: (see instrument #202203603) Lot 13 and 14 in Block N, out of Lot 14 in Block Riverside 'N'...

Digitally signed by Stacy L Brown
Date: 2022.08.17
10:44:43 -0400
Stacy L Brown, PSM No. 6516
SurfTech Solutions, Inc. LB No. 7340

Table with 3 columns: APPROVED, DATE, INITIALS. Contains a signature line.

Professional Engineer and Surveyor certification information and company logo for SurfTech Solutions, Inc.

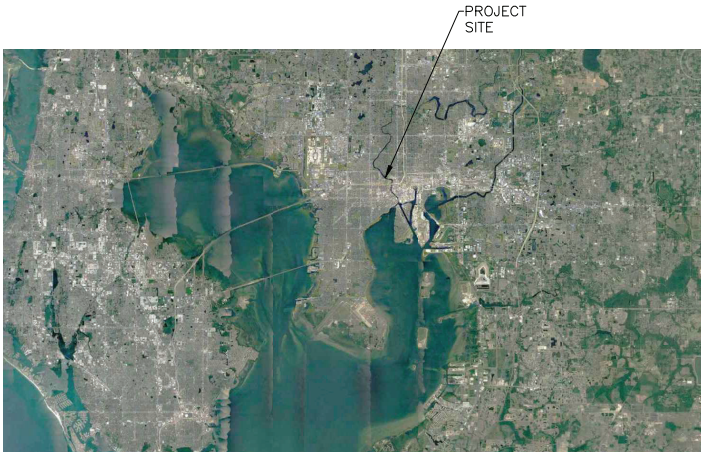
70509(R1)

**HILLSBOROUGH RIVER LIVING SHORELINE PROJECT
FOR: REED, FOUT & MCCARTNEY PRIVATE RESIDENCES
BY: ENVIRONMENTAL SCIENCE ASSOCIATES**

**EPC
PERMIT**

A-2(R1) LMC
EXHIBIT

MARCH 6, 2024



Sheet List Table		
Sequence Number	Sheet Number	Sheet Title
1	G-1	COVER
2	G-2	GENERAL NOTES
3	C-1	PLAN OVERVIEW
4	C-2	PLAN VIEW - EXISTING
5	C-3	PLAN VIEW - PROPOSED (1)
6	C-4	PLAN VIEW - PROPOSED (2)
7	C-5	PLAN VIEW - PROPOSED (3)
8	C-6	CROSS SECTIONS (1)
9	C-7	CROSS SECTIONS (2)
10	C-8	CROSS SECTIONS (3)
11	P-1	PLANTING PLAN



STAMP Digitally signed by Bryan D Flynn
Date: 2024.03.07 05:22:37 -05'00'

CONSULTANT
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY BRYAN D. FLYNN, PE ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNING AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
DRAWN LC
CHECKED CAR
IN CHARGE BDF
FL 70856

PROJECT NUMBER: 0223045621
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x36")
1" = 1'
PHASE: 100% PLANSET
SHEET TITLE: COVER
SHEET NUMBER: G-1
SHEET 1 OF 11

RECEIVED
March 7, 2024
EPC of H.C.
WETLANDS

REVISED
Replaces Page Received: Nov. 16, 2023

70509(R1)



ESA
 5630 CROSS CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE +813.227.7300
 WWW.ESASARC.COM

STAMP
 Digitally signed by
 Bryan D Flynn
 Date:
 2024.03.07
 05:23:44
 -05'00'

CONSULTANT
 THIS SEAL HAS BEEN INITIALLY SIGNED
 AND SEALED BY BRYAN D. FLYNN, PE
 ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT
 ARE NOT CONSIDERED SEALED AND
 SEALED AND THE SIGNATURE MUST BE
 VERIFIED ON ANY ELECTRONIC COPIES

PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION
DESIGNED	LC	
DRAWN	LC	
CHECKED	CAF	
IN CHARGE	BDP	
	FL 70856	
PROJECT NUMBER: 0223040421		
ISSUE DATE	03/06/2024	
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")		
→ 1" →		
PHASE: 100% PLANSET		
SHEET TITLE: PLAN OVERVIEW		
SHEET NUMBER: C-1		
SHEET 3 OF 11		

REVISED
 Replaces Page Received: Nov. 16, 2023

RECEIVED
 March 7, 2024
 EPC of H.C.
 WETLANDS

70509(R1)



ESA
 5640 CROSS CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE: +1 813 257 1700
 WWW.ESASACC.COM

STAMP
 Digitally signed by
 Bryan D Flynn
 Date: 2024.03.07
 05:24:21
 -05'00'

CONSULTANT
 THIS ITEM HAS BEEN DIGITALLY SIGNED
 AND SEALED BY BRIGAND FLYNN, PE
 ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT
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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED	LC
DRAWN	LC
CHECKED	CAF
IN CHARGE	BDP FL 70856

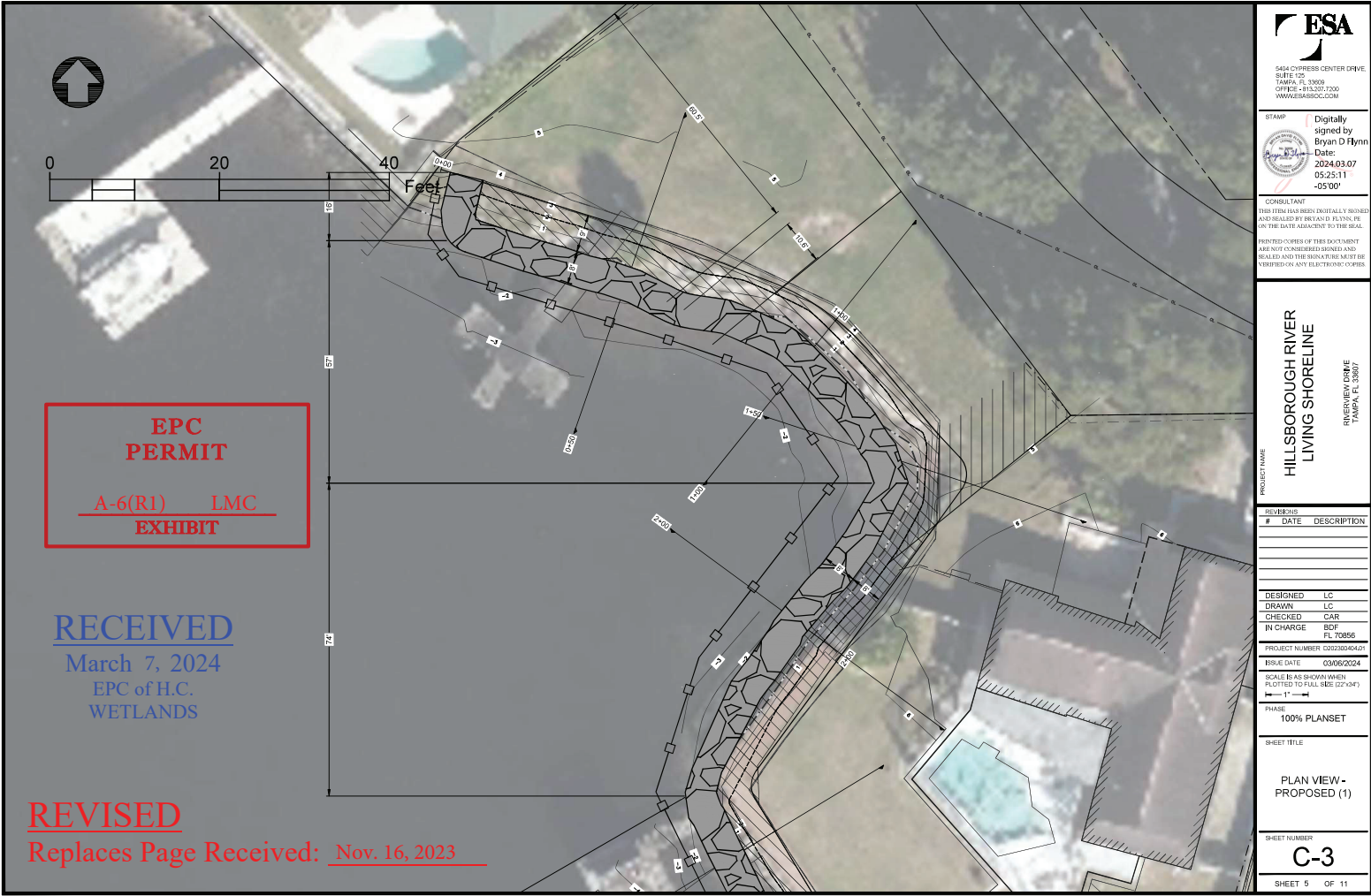
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 ISSUE DATE: 03/06/2024
 SCALE: AS SHOWN WHEN
 PLOTTED TO FULL SIZE (27"x36")
 1" = 100'
 PHASE:
 100% PLANSET

SHEET TITLE
 PLAN VIEW -
 EXISTING
 SHEET NUMBER
C-2
 SHEET 4 OF 11

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 WETLANDS

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PERMIT**

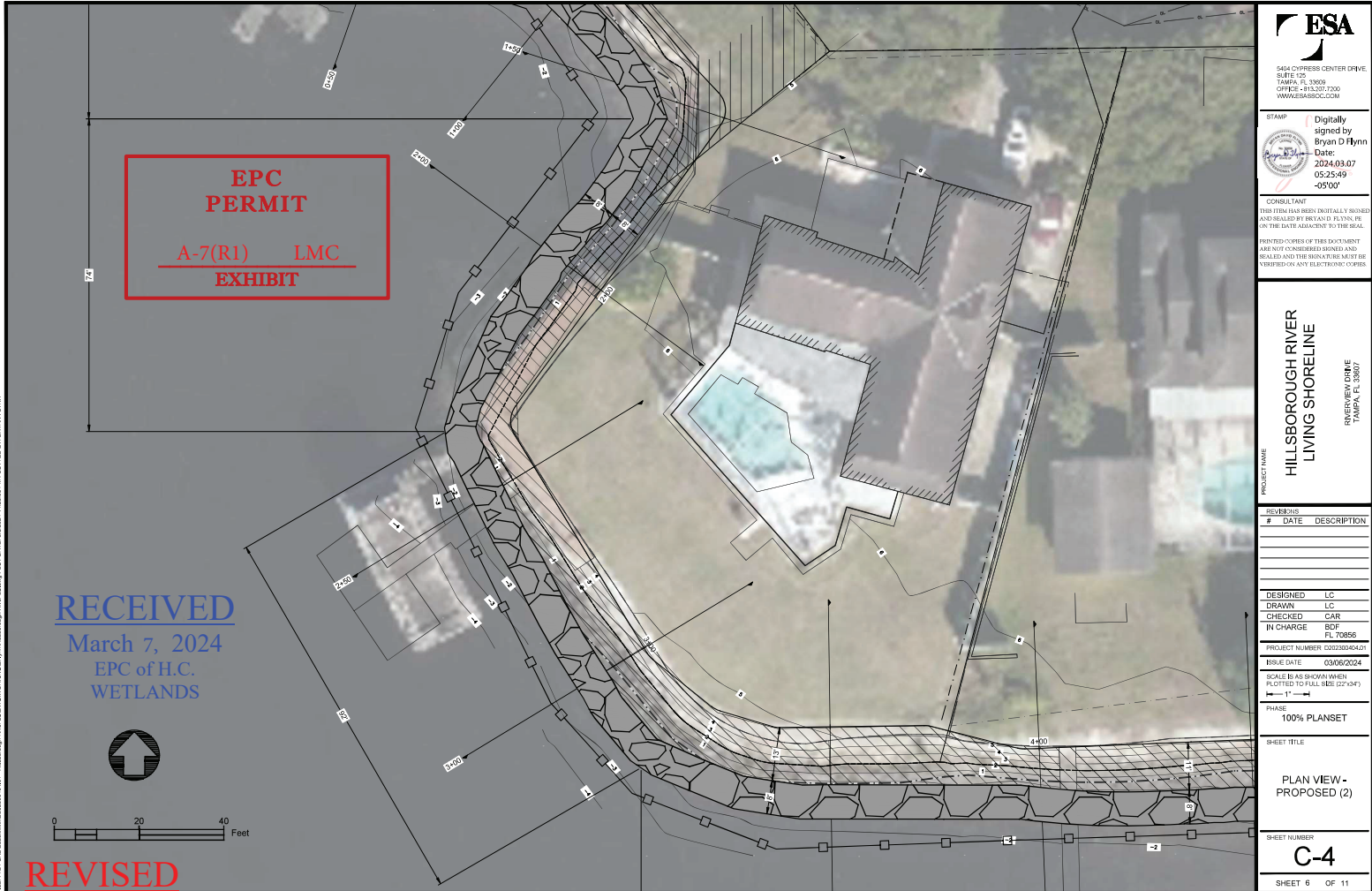
A-6(R1) LMC
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<p style="font-size: 8px;">5640 GYFFERS CENTER DRIVE SUITE 125 TAMPA, FL 33609 OFFICE: +1(813)221-7300 WWW.ESASARC.COM</p>																						
STAMP	<p>Digitally signed by Bryan D Flynn</p> <p>Date: 2024.03.07 05:25:11 -05'00'</p>																					
<p>CONSULTANT THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY BRYAN D FLYNN, PE ON THE DATE ADJACENT TO THE SEAL.</p> <p>PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.</p>																						
<p>HILLSBOROUGH RIVER LIVING SHORELINE</p> <p style="font-size: 8px;">RIVERVIEW DRIVE TAMPA, FL 33607</p>																						
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>		#	DATE	DESCRIPTION																		
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<p>PROJECT NUMBER: 022304021</p> <p>ISSUE DATE: 03/06/2024</p> <p>SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"X36")</p> <p>1" = 1'</p>																						
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<p>SHEET NUMBER: C-3</p>																						
<p>SHEET 5 OF 11</p>																						

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ESA
 5610 CROSS CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE: +1(813)257-1700
 WWW.ESASACC.COM

STAMP
 Digitally signed by
 Bryan D Flynn
 Date: 2024.03.07
 05:25:49
 -05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
 DRAWN LC
 CHECKED OAR
 IN CHARGE BDF
 FL 70856

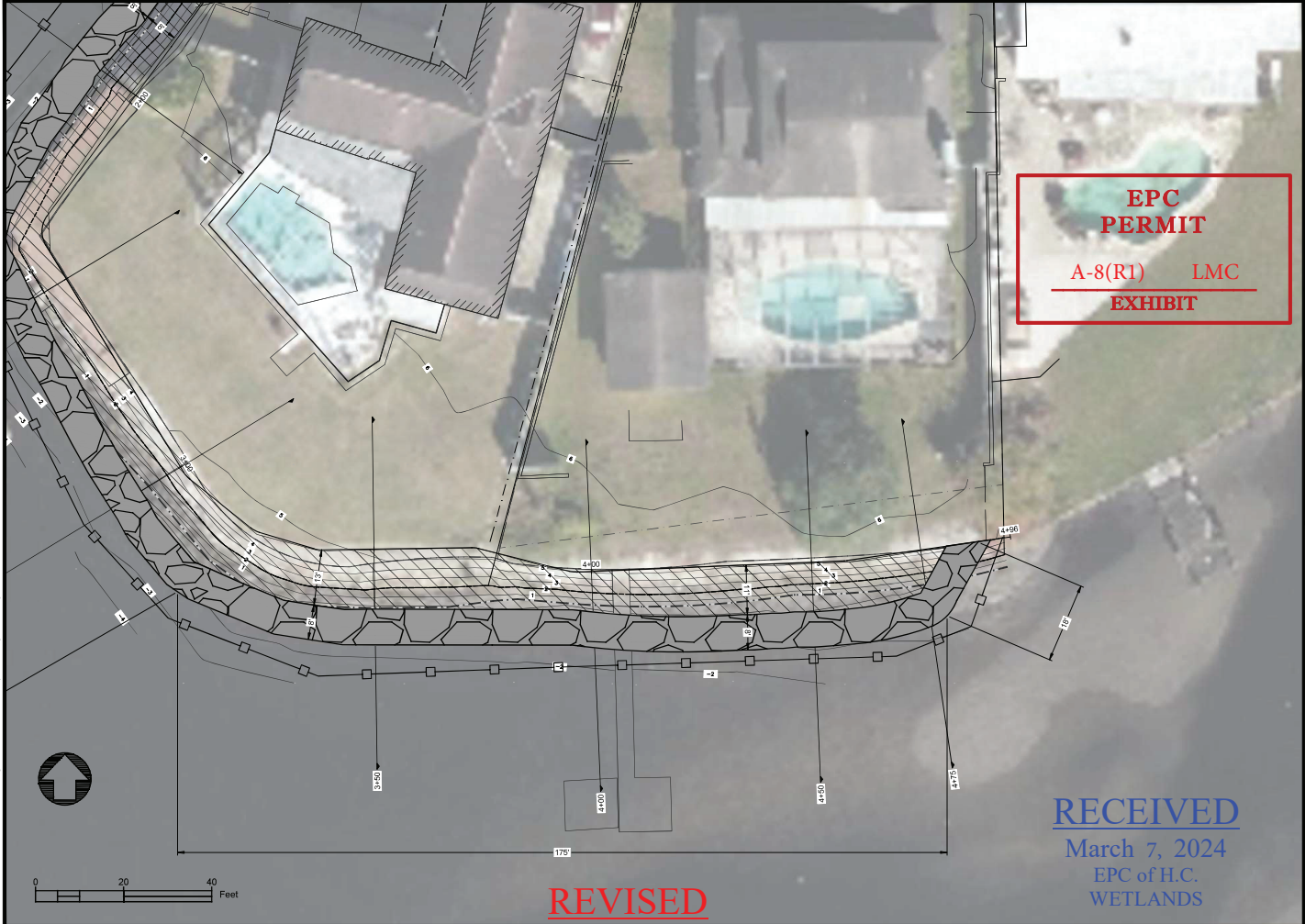
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 ISSUE DATE 03/06/2024
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 1" = 40'

PHASE
100% PLANSET

SHEET TITLE
**PLAN VIEW -
 PROPOSED (2)**

SHEET NUMBER
C-4
 SHEET 6 OF 11

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 05:26:21
 -05'00'

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 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
 DRAWN LC
 CHECKED CAR
 IN CHARGE BDF
 FL 70856

PROJECT NUMBER 0223045421
 ISSUE DATE 03/06/2024
 SCALE AS SHOWN WHEN PLOTTED TO FULL SIZE (27"X42")
 1" = 1'

PHASE
 100% PLANSET

SHEET TITLE
 PLAN VIEW -
 PROPOSED (3)




SHEET NUMBER
C-5
 SHEET 7 OF 11

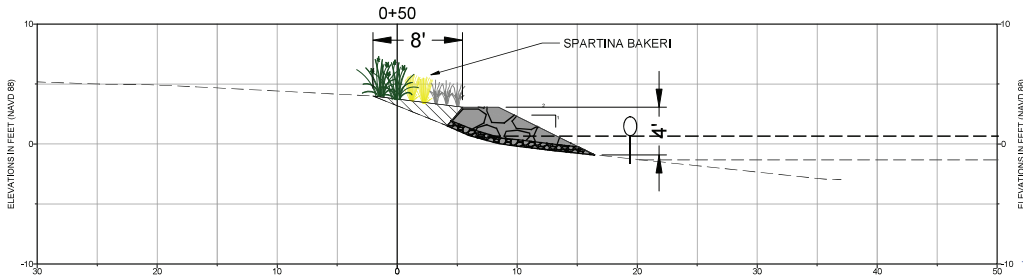
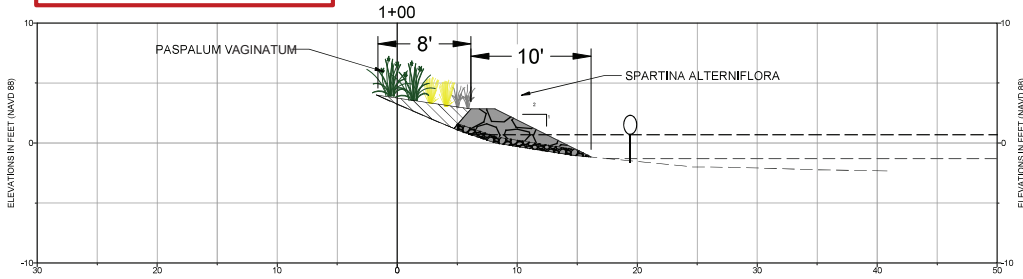
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EXHIBIT

-  SANDY FILL MATERIAL
-  LIMESTONE RIP RAP
-  BEDDING STONE



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VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE 1" = 4'

----- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- - - - - MEAN LOW WATER LINE = -1.29 FT (NAVD 88)



5650 CROSS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
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**HILLSBOROUGH RIVER
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 RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED	LC
DRAWN	LC
CHECKED	CAR
IN CHARGE	BDP FL 70856
PROJECT NUMBER	0223045421
ISSUE DATE	03/06/2024
SCALE	AS SHOWN WHEN PLOTTED TO HALL MARK (27'x42')
PHASE	100% PLANSET
SHEET TITLE	CROSS SECTIONS (1)
SHEET NUMBER	C-6
SHEET 8	OF 11

70509(R1)




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**A-10(R1) LMC
EXHIBIT**

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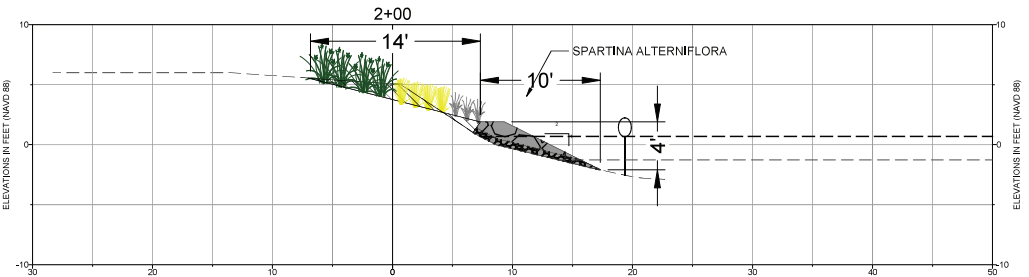
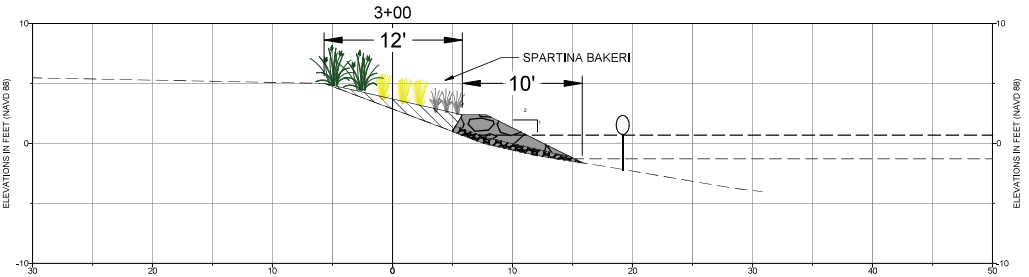
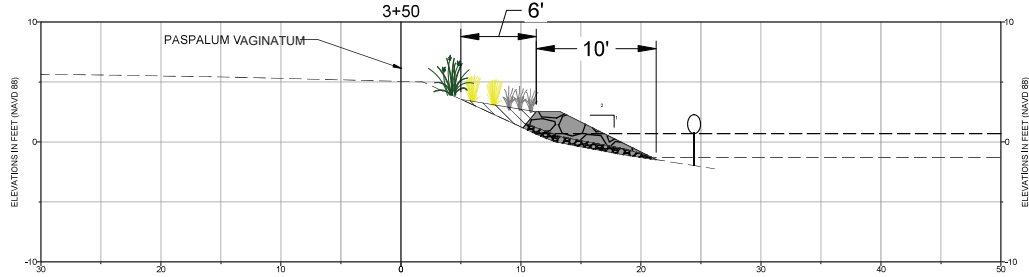
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-  BEDDING STONE

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VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE 1" = 4'



5640 CYPRESS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
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LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION
DESIGNED	LC	
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CHECKED	CAR	
IN CHARGE	BDP	FL 70856
PROJECT NUMBER	022304529	
ISSUE DATE	03/06/2024	
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PHASE	100% PLANSET	
SHEET TITLE	CROSS SECTIONS (2)	
SHEET NUMBER	C-7	
SHEET 9 OF 11		

70509(R1)

EPC PERMIT
A-11(R1) LMC
EXHIBIT

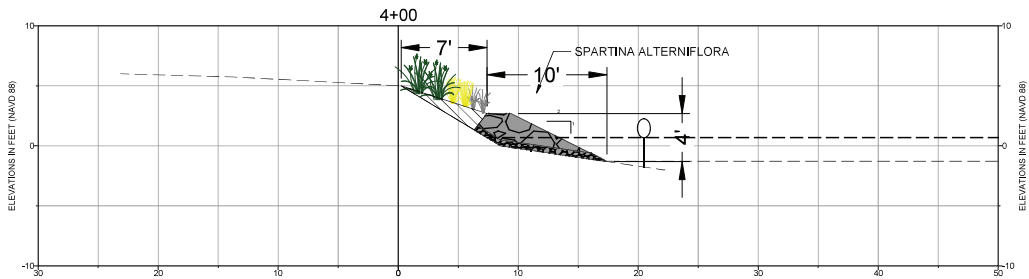
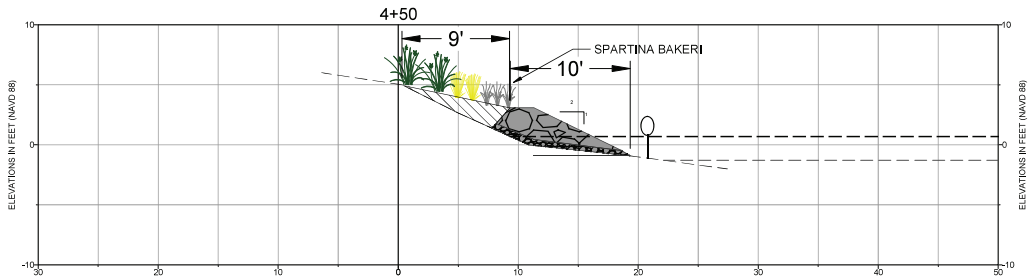
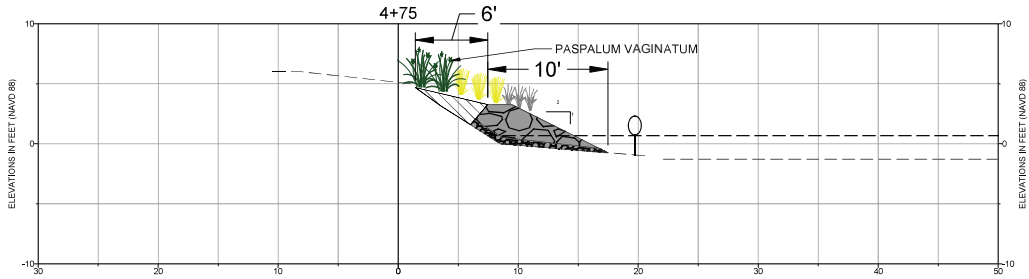
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VERTICAL SCALE 1" = 4'
 HORIZONTAL SCALE 1" = 4'

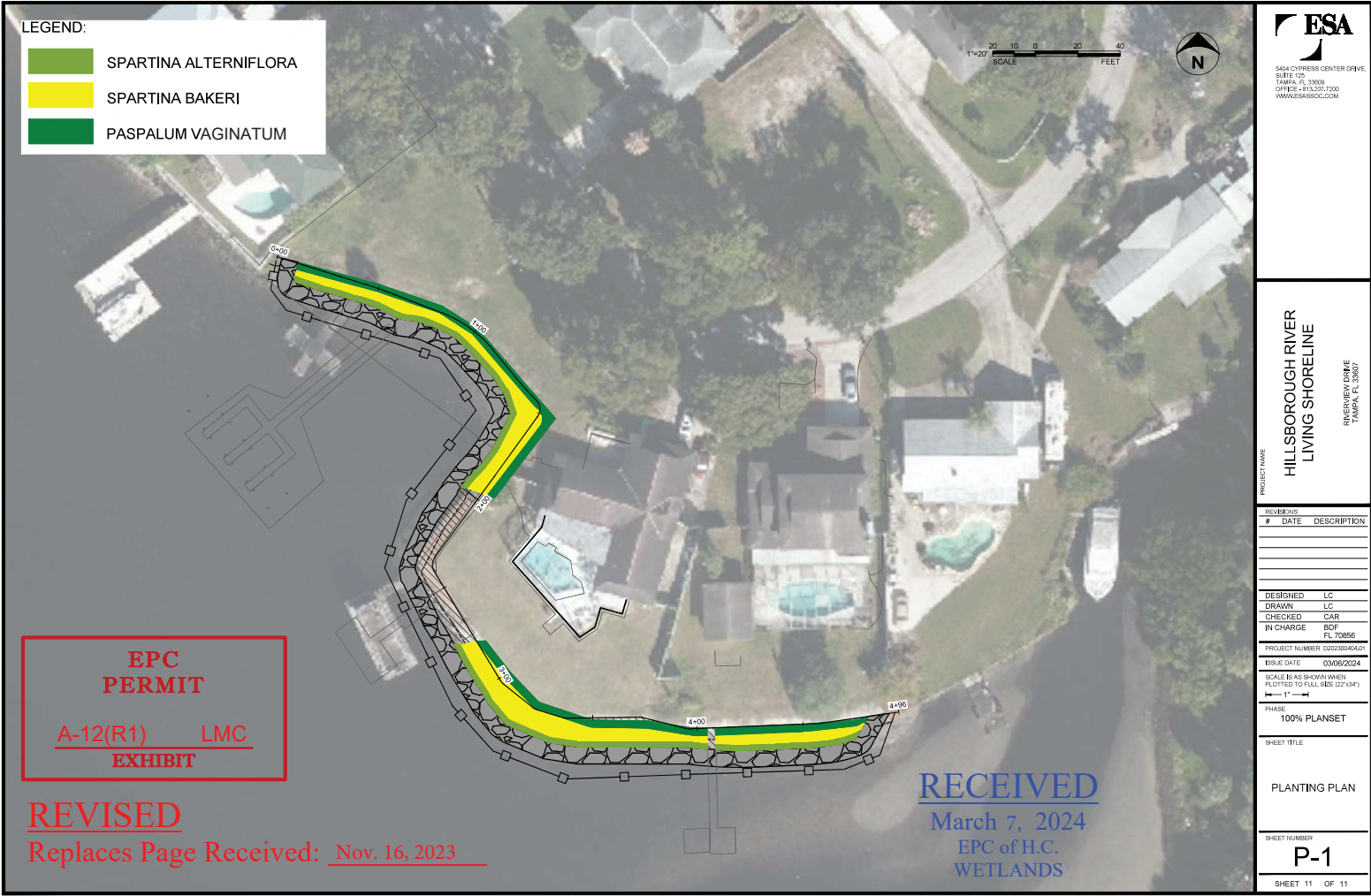


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PROJECT NUMBER	0223045421
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SCALE	AS SHOWN WHEN PLOTTED TO FULL SIZE (27"X42")
PHASE	100% PLANSET
SHEET TITLE	CROSS SECTIONS (3)
SHEET NUMBER	C-8
SHEET 10	OF 11

70509(R1)



70509(R1)

From: noreply@fs2.formsite.com on behalf of [epcinfo at epchc.org](mailto:epcinfo@epchc.org)
To: [Castillo, Laura](#)
Subject: MWP09 - Minor Work Permit Application Result #14722216
Date: Thursday, November 16, 2023 2:23:22 PM

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	BFLYNN@ESASSOC.COM
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	<p>The property is currently a rip rap and broken concrete shoreline with open view to the Hillsborough River. This project proposes to enhance the existing shoreline by installing riprap along the shoreline. This structure is designed to act as a wave break, dissipating wave energy which will protect the shoreline and provide estuarine habitat. The limestone rip rap will be placed within 10 feet of the mean high water line, sandy fill will be placed behind the rip rap and the shoreline will be planted with native estuarine species. This property will be in the middle of four private properties that are proposing to create a living shoreline that is approximately 500 feet long. The intent of this project is to construct a nature-based, living shoreline feature to protect the existing shoreline from wind waves and boat wakes, increasing resiliency, while creating habitat for estuarine species.</p>
Owner First Name	Michael
Owner Last Name	Fout
Company Name & Title (if applicable)	Homeowner
Mailing Address	2204 N. Riverside Drive

City	Tampa
State	FL
Zip Code	33602
Owner Telephone Number(s)	7726335300
Email Address	fout.michael@gmail.com
Are you using an agent?	Yes
Agent First Name	Bryan
Agent Last Name	Flynn
Company Name (if applicable)	Environmental Science Associates
Street Address	5404 Cypress Center Drive, Suite 125
City	Tampa
State	FL
Zip Code	33609
Telephone Number(s)	7726335300
Email Address	bflynn@esassoc.com
Site Street Address	2204 N. Riverside Drive
City	Tampa
State	FL
Zip Code	33609
Folio Numbers(s) of Site	183550-5000
Parcel ID:	
Section	
Required	14

Township	
Required	29S
Range	
Required	18E
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Tampa Port Authority
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	Maintenance / Replacement
2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)	Other Shoreline Stabilization
Item #237	
Length of Shoreline at Site (in linear feet)	
(if applicable)	<u>~231.51 MHWL per survey *</u>
Length of Work Proposed Along Shoreline (in linear feet)	

(if applicable)	
Seawall Vertical Height (in feet)	
(if applicable)	0
Rip-Rap Slope - Horizontal Distance (in feet)	
(if applicable)	<u>10*</u>
Rip-Rap Slope - Vertical Height (in feet)	
(if applicable)	<u>4*</u>
Type of Material	
(if applicable)	limestone rip rap
Dredged Volume (in cubic feet)	
(if applicable)	0
Filled Volume (in cubic feet)	
(if applicable)	3917
C. Filling	Check if Filling
1) Volume	
Volume - Above OHW/MHW	
(required)	145
Volume - Below OHW/MHW	
(required)	97
Volume - Total (in cubic yards)	
(required)	242
2) Area	
Area - Above OHW/MHW	

(required)	2406
Area - Below OHW/MHW	
(required)	1914
Area - Total (in square feet)	
(required)	4320
3) Containment	Other
If Other:	Rip rap sill
4) Type of Material	rip rap and sediment
5) Source of Material	Off-site
If Off-site:	Will be mined rock and sandy fill material
To Begin On:	12/01/2023
To Be Completed By:	03/29/2024
Enter any additional remarks for the project.	project is part of a consistent living shoreline covering 4 adjacent lots
Public Interest Comment Box:	The project eliminates erosion of sediment into the Hillsborough River and poses not threat to navigation. The rip rap provides essential fish habitat and the marsh grasses provide foraging area for wading birds.
1st Adjacent Property Owner Name(s)	David Reed
Company Name & Title (if applicable)	Homeowner
Mailing Address	2108 N. Riverside Drive
City	Tampa
State	FL
Zip Code	33609
2nd Adjacent Owner	Erich McCartney

Company (if applicable)	ZORB LLC
Mailing Address	2205 N. Riverside Drive
City	Tampa
State	FL
Zip Code	33609
OWNER / APPLICANT ACKNOWLEDGEMENT	I am an agent filling out the application on behalf of the owner.
Please download, complete and sign the Owner's Authorization Form. Then upload the signed authorization document here:	Owner_Applicant_Authorization_Fout_LOT.pdf (300 KB)
Project Drawings uploads: (Site Plan, Plan Review, Profile)	Hillsborough_River_Living_Shoreline_11-14-23_ESIGN_nkHP.pdf (15.04 MB)

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**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. A. 2. Minor Work Permit No. 77844 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

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Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
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Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

March 13, 2024

David Reed (Sent via email)
dreed@shepardcap.com
2108 N. Riverside Drive
Tampa, FL 33602

Permittee: **DAVID AND ELLEN REED**
Permit Number: **77844**
Type of Permit: **INTENT TO ISSUE MINOR WORK PERMIT FOR THE
INSTALLATION OF RIP-RAP AND NATIVE WETLAND
PLANTINGS WITH REGRADING FOR SHORELINE
STABILIZATION**
Project Address: **2108 N. RIVERSIDE DRIVE, TAMPA, FL 33602**
Issuance Date: **APRIL 7, 2024**
Expiration Date: **APRIL 7, 2027**

Dear Mr. Reed:

This Intent to Issue the Minor Work Permit (Permit) for the installation of rip-rap and native plantings with regarding for shoreline stabilization is issued to David and Ellen Reed (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until April 7, 2024.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to

submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink that reads "Michael Lynch". The signature is written in a cursive style with a large initial "M".

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcso.com
Brenda Greenwald - greenwaldb@hcpafl.org
Bryan Flynn - Environmental Science Associates - bflynn@esassoc.com
Thomas Ries - Ecosphere Restoration Institute, Inc. - tries@ecosphererestoration.org
City of Tampa - Construction Services Department - dave.jennings@tampagov.net
City of Tampa - Real Estate Department - Monica.Ammann@tampagov.net -
John.Archer@tampagov.net
Shawn College - colleges@plancom.org
Michael Fout - fout.michael@gmail.com

cc: Michael and Kenneth Maltarp; Life Estate of Robert and Annie Maltarp



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 77844

**PERMITTEE: DAVID AND ELLEN REED
2108 N. RIVERSIDE DRIVE
TAMPA, FL 33602**

**AGENT: ENVIRONMENTAL SCIENCE ASSOCIATES
BRYAN FLYNN
5404 CYPRESS CENTER DRIVE, SUITE 125
TAMPA, FL 33609**

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 113 LINEAR FEET OF RIP-RAP AND THE STABILIZATION OF APPROXIMATELY 103 FEET OF SHORELINE WITH NATIVE WETLAND PLANTINGS AND REGRADING PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

**PROJECT LOCATION: 2108 N. RIVERSIDE DRIVE, TAMPA, FL 33602 /
HILLSBOROUGH RIVER**

**DATE OF ISSUE: APRIL 7, 2024
EXPIRATION DATE: APRIL 7, 2027**

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

ENVIRONMENTAL PROTECTION COMMISSION
MINOR WORK PERMIT No. - 77844
SPECIFIC CONDITIONS
April 7, 2024

1. This Permit authorizes the installation of approximately 113 linear feet of rip-rap and stabilization of approximately 103 linear feet of shoreline with native wetland plantings.
2. This Permit does not authorize the filling of wetlands other than the placement of rip-rap and the placement of sandy fill for the native estuarine planting zone as shown on the EPC approved Permit exhibits.
3. This Permit does not authorize the placement of pilings or any other structures extraneous to the installation of the rip-rap revetment.
4. Be advised, if the proposed activity approved by this Permit is altered, a modification to this Permit with applicable application and fee may be required. Modifications include, but are not limited to, changes to the footprint of the proposed activity or adding structures such as: floating vessel platforms, floating docks, roofs, canopy covers, personal watercraft (PWC) lifts, etc. Modifications require review by EPC.
5. **The enclosed Permit Card shall be conspicuously displayed at the project site once work on this project has been initiated and shall remain so displayed until the project has been completed. Within fifteen (15) days of completion of this project, EPC is to be notified via email wetlandscompliance@epchc.org.**

RIP-RAP CONSTRUCTION SPECIFIC CONDITIONS

6. The structure shall be constructed as depicted per EPC approved Permit exhibits A-2 through A-12. **The dock structure depicted in the Permit exhibits is for illustration purposes only and is not approved as part of this Permit.**
7. The rip-rap shall be placed within the property limits as depicted per EPC approved Permit exhibits A-1, A-4, A-5, A-7, and A-8.
8. During the installation of the rip-rap material, a floating turbidity curtain and/or silt fence shall be deployed waterward of the work site and attached from adjacent shoreline to adjacent shoreline. The turbidity curtain/silt fence must remain in place until the work has ceased and any resultant construction-related turbidity has settled out. These measures should be removed as soon as water quality returns to sustainable background levels and/or all areas of disturbed soils are stabilized.
9. This Permit does not authorize the rip-rap installation to cover or obstruct any existing storm water outfall pipes.
10. The slope of the rip-rap revetment, in feet, will not exceed one (1) vertical to two (2) horizontal as depicted per EPC approved exhibits A-9, A-10, and A-11.
11. The horizontal distance from the approximate mean high water line must be no more than 10 feet as depicted per EPC approved exhibits A-7, A-8, A-9, A-10, and A-11.
12. The rip-rap material shall consist entirely of clean concrete rubble or natural boulders one (1) foot to three (3) feet in average diameter as described per Construction Note #5 of the EPC

approved Permit exhibit A-3. No reinforcing rods or other similar protrusions in concrete rubble shall be exposed and the rip-rap material shall be free of attached sediments. The use of asphalt or other organic materials is prohibited.

13. Filter fabric shall be placed as described per Construction Note #9 of the EPC approved Permit exhibit A-3.
14. The rip-rap material shall remain unconsolidated.
15. This Permit does not authorize any dredging activity.
16. All wetland vegetation, including but not limited to mangroves, must be preserved during all construction authorized under this Permit. No mangrove removal is allowed. Further, no impacts to existing submerged aquatic vegetation, coral communities or oyster beds shall occur under this Permit.

PLANTING SPECIFIC CONDITIONS

17. Only the native, non-nuisance, vegetation listed in EPC approved permit exhibits A-9 through A-12 may be planted.
18. At a minimum, plants shall be spaced on two (2) foot centers.
19. The applicant is responsible for removing non-native, nuisance vegetation from the native shoreline area.
20. Re-grading shall be limited to the amount necessary to correct the erosion and provide an adequate slope for plant recruitment and vegetation.

U.S. ARMY CORPS OF ENGINEERS SPGP DETERMINATION

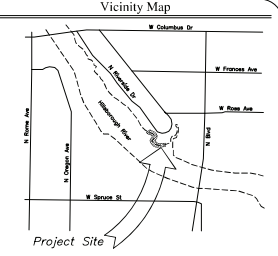
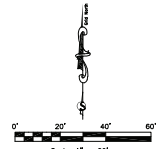
Your proposed activity as outlined on your application and attached drawings does not qualify for Federal authorization pursuant to the State Programmatic General Permit and a SEPARATE permit or authorization shall be required from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345 or ENG FORM 6082, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at:

<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

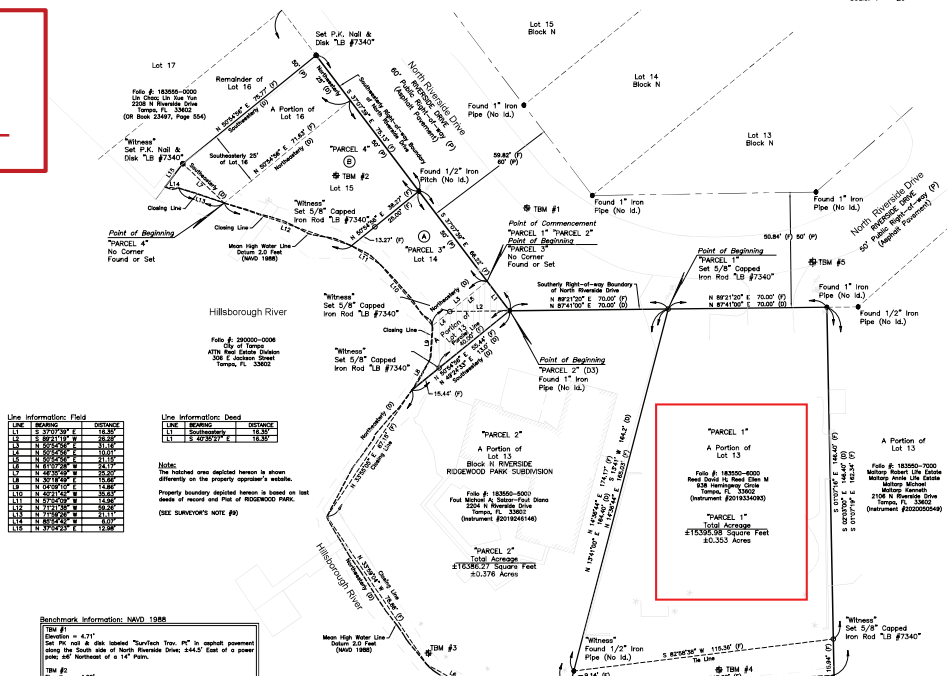
Legend of Symbols & Abbreviations

- Found Iron Pipe or Nail
Set 5/8" Copied Iron Rod
Temporary Benchmark
Language Benchmark
Dotted Reference
Flat Reference
Number
Professional Surveyor and Mapper
Licensed Business
Cadastral Boundary

Boundary, Partial Topographic & Tree Survey
Riverside Drive Living Shoreline
Section 14, Township 29 South, Range 18 East
Hillsborough County, Florida



EPC PERMIT
A-1 LMC EXHIBIT



Legal Description

"PARCEL 1": (see instrument #201934693)
"PARCEL 2": (see instrument #201934693)
"PARCEL 3": (see instrument #201934693)
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"PARCEL 100": (see instrument #201934693)

Ownership Information
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Parcel 98: 10.00 Acres
Parcel 99: 10.00 Acres
Parcel 100: 10.00 Acres

Line Information Field table with columns: Line ID, Bearing, Distance, Stationing, Remarks.

Surveyor's Notes
1. Paper records of this survey are not attached to this original plat and should be kept in a secure location.
2. The boundary lines shown on this plat are based on a 2011 Florida State Plane North Zone datum of NAD 83.
3. The horizontal distance between any two points is based on the horizontal distance between the two points as shown on this plat.
4. The vertical distance between any two points is based on the vertical distance between the two points as shown on this plat.
5. The area of any polygon is based on the area of the polygon as shown on this plat.
6. The perimeter of any polygon is based on the perimeter of the polygon as shown on this plat.
7. The volume of any solid is based on the volume of the solid as shown on this plat.
8. The weight of any object is based on the weight of the object as shown on this plat.
9. The length of any line is based on the length of the line as shown on this plat.
10. The width of any object is based on the width of the object as shown on this plat.
11. The height of any object is based on the height of the object as shown on this plat.
12. The depth of any object is based on the depth of the object as shown on this plat.
13. The area of any surface is based on the area of the surface as shown on this plat.
14. The volume of any solid is based on the volume of the solid as shown on this plat.
15. The weight of any object is based on the weight of the object as shown on this plat.
16. The length of any line is based on the length of the line as shown on this plat.
17. The width of any object is based on the width of the object as shown on this plat.
18. The height of any object is based on the height of the object as shown on this plat.
19. The depth of any object is based on the depth of the object as shown on this plat.
20. The area of any surface is based on the area of the surface as shown on this plat.

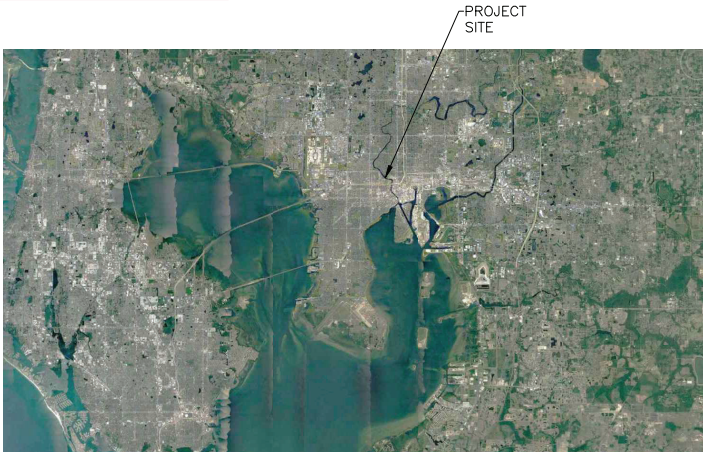
Benchmark Information table with columns: Station, Elevation, Remarks.

Digitally signed by Stacy L Brown
Date: 2022.08.17 10:44:43 -0400
Professional seal and signature block.

**HILLSBOROUGH RIVER LIVING SHORELINE PROJECT
FOR: REED, FOUT & MCCARTNEY PRIVATE RESIDENCES
BY: ENVIRONMENTAL SCIENCE ASSOCIATES**

**EPC
PERMIT**
A-2 LMC
EXHIBIT

MARCH 6, 2024



Sheet List Table		
Sequence Number	Sheet Number	Sheet Title
1	G-1	COVER
2	G-2	GENERAL NOTES
3	C-1	PLAN OVERVIEW
4	C-2	PLAN VIEW - EXISTING
5	C-3	PLAN VIEW - PROPOSED (1)
6	C-4	PLAN VIEW - PROPOSED (2)
7	C-5	PLAN VIEW - PROPOSED (3)
8	C-6	CROSS SECTIONS (1)
9	C-7	CROSS SECTIONS (2)
10	C-8	CROSS SECTIONS (3)
11	P-1	PLANTING PLAN



STAMP
Digitally signed by
Bryan D Flynn
Date: 2024.03.07 05:22:37 -05'00'

CONSULTANT
THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY BREAKING POINTS, INC.
ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
DRAWN LC
CHECKED CAR
IN CHARGE BDF
FL 70856

PROJECT NUMBER: 0223045621
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x36")
1" = 1'

PHASE: 100% PLANSET

SHEET TITLE: COVER

SHEET NUMBER: **G-1**

SHEET 1 OF 11

RECEIVED
March 7, 2024
EPC of H.C.
WETLANDS

REVISED
Replaces Page Received: Nov. 16, 2023

FILE: P:\02\0223045621\0223045621 - Hillsborough River Living Shoreline\0223045621 - Hillsborough River Living Shoreline\1127252191.PLOT.DWG BY: BRYAN D FLYNN

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES OF WORK REQUIRED TO COMPLETE THE CONSTRUCTION SHOWN ON THE PLANS. THE CONTRACTOR SHALL ALSO MAKE THEIR OWN ASSESSMENT OF THE SITE AND THE WORK REQUIRED PRIOR TO BIDDING AND ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE THE BIDDING DATE. THE CONTRACTOR SHALL CHECK PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICT BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
2. ALL EXCAVATION AND PLACEMENT MUST BE COMPLETED BY MECHANICAL METHODS.
3. ALL CONSTRUCTION ACTIVITY WILL BE CONDUCTED DURING DAYLIGHT HOURS FROM 8AM TO ONE HALF-HOUR BEFORE SUNSET.
4. ALL WORK WILL BE COMPLETED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
5. ALL WORK WILL BE COMPLETED WITHIN DESIGNATED AREAS AND TO DESIGNATED ELEVATIONS.
6. CONTRACTOR MUST OBSERVE A 3 FOOT BUFFER FROM ANY SUBMERGED AQUATIC VEGETATION (SAV), NO CONSTRUCTION ACTIVITY, MATERIALS, OR TEMPORARY TURBIDITY MEASURES WILL BE ALLOWED WITHIN 3 FEET OF SAV.
7. THE CONTRACTOR WILL BE REQUIRED TO CONDUCT THE WORK IN SUCH MANNER AS TO NOT OBSTRUCT HOMEOWNER OPERATIONS. OPERATIONS CONTRACTOR SHALL MAKE REASONABLE EFFORTS TO AVOID A PRACTICABLE AND SAFE PASSAGE. UPON THE COMPLETION OF THE WORK THE CONTRACTOR SHALL PROMPTLY REMOVE THE EQUIPMENT, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR ALL EQUIPMENT ACCESS AND EGRESS TO AND FROM THE PROJECT WORK AREAS. THE CONTRACTOR SHALL HAVE AN INVESTIGATION OF ACCESS ROADS AND THE ROADS FOR TRANSPORTATION, LOAD LIMITS FOR BRIDGES AND ROADS, AND OTHER ROAD CONDITIONS AFFECTING THE TRANSPORTATION OF MATERIALS AND EQUIPMENT TO THE WORK SITES. THE CONTRACTOR SHALL ALSO INVESTIGATE THE AVAILABILITY OF ANY STAGING, STORAGE, AND STOCK PILING AREAS AND SHALL MAKE ALL ARRANGEMENTS FOR USE OF ANY SUCH AREAS FOR THE DELIVERY OF ANY MATERIALS AND EQUIPMENT TO BE USED IN COMPLETING THE WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES OR OTHER OBJECTS PRIOR TO COMMENCING WORK AT THE SITE. CONTACT SUNSHINE AT 1-800-432-4770.
9. ALL AREAS OR ITEMS THAT ARE DAMAGED OR DESTROYED ABOVE OR BELOW GROUND BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION AT NO COST TO THE CITY. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION OF EQUAL TO, OR BETTER THAN EXISTING CONDITIONS UNLESS SPECIFICALLY EXEMPTED BY THE PLANS.
10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING HORIZONTAL AND VERTICAL ACCURACY DURING EXCAVATION.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
12. CONSTRUCTION TRAFFIC SHALL NOT IMPIDE THE SAFE AND EFFICIENT USE OF SURROUNDING ROADWAYS. CONTRACTOR SHALL FOLLOW FOOT STANDARD INCHES 600 AND 404 FOR MAINTENANCE OF TRAFFIC DURING CONSTRUCTION OF THE TEMPORARY CONSTRUCTION ACCESS CONNECTION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY REMOVAL OF ANY FUGITIVE DUST, SAND OR DEBRIS WHICH MAY BE CAUSED BY THEIR ACTIONS FROM THE RIGHT OF WAY.
14. RECORD DRAWINGS: THREE (3) SETS OF THE FINAL RECORD DRAWING AS-BUILTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
15. REPORT SUBMISSION: THE CONTRACTOR SHALL MAINTAIN A LOG DETAILING DAILY CONSTRUCTION ACTIVITY DURING THE CONTRACT PERIOD. THE DATA SHALL BE RECORDED ON FORMS PROVIDED BY THE ENGINEER. ALL DATA IN ORIGINAL FORM SHALL BE FORWARDED DIRECTLY TO THE ENGINEER, WITHIN 10 DAYS OF COLLECTION AND COPIES OF THE DATA SHALL BE SUPPLIED TO THE ENGINEER. FOLLOWING PROJECT COMPLETION, A REPORT SUMMARIZING THE ABOVE INCIDENTS AND SERVICES SHALL BE SUBMITTED TO THE FOLLOWING:

ENVIRONMENTAL SCIENCE ASSOCIATES
5404 CYPRESS CENTER DRIVE, SUITE 125
TAMPA, FL 33609
(813) 207-7216

SURVEY NOTES

1. HYDROGRAPHIC AND TOPOGRAPHIC SURVEY PERFORMED BY HILLSBOROUGH SURVEYING INC.
2. VERTICAL DATUM SHOWN IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). HORIZONTAL DATUM SHOWN IS BASED ON FLORIDA EAST ZONE STATE PLANE COORDINATES, NORTH AMERICAN DATUM 1983 (NAD83). ALL ELEVATIONS ARE REPORTED IN U.S. FEET.
3. AERIAL PHOTOGRAPHY PROVIDED BY FLORIDA DEPARTMENT OF TRANSPORTATION, 2020.
4. DRAWINGS REPRESENT CONDITIONS ENCOUNTERED AT THE SURVEY. SITE CONDITIONS ARE DYNAMIC AND SUBJECT TO CHANGE. CONTRACTOR SHALL CONDUCT SURVEY PRIOR TO SITE DISTURBANCE TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION.
5. THE CITY HAS PERFORMED A FEASIBILITY LEVEL SURVEY THAT IS INCLUDED IN THE CONTRACT DRAWINGS. THIS PRE-EXCAVATION SURVEY WAS USED TO CALCULATE AN ESTIMATED QUANTITY OF MATERIAL TO BE EXCAVATED. THIS QUANTITY IS CONSIDERED AN ESTIMATE AND IS NOT THE BASIS FOR PAYMENT TO THE CONTRACTOR. PAYMENT FOR THIS WORK SHALL NOT BE BASED ON THE VOLUME OF MATERIAL (CUBIC YARDS) PLACED AT THE WORK AREA. THE CONTRACTOR SHALL BE COMPENSATED SOLELY BASED ON THE LUMP SUM BID PRICE. CONTRACTOR SHALL MAKE AN ASSESSMENT OF THIS AND ANY OTHER RELEVANT INFORMATION NECESSARY, IN THE JUDGMENT OF THE CONTRACTOR, IN DETERMINING THE EXPECTED VOLUME TO BE REMOVED/ADDED.
6. THE ELEVATIONS AND EXTENTS OF THE NEW RFP RAP RILL, REVENIENT, AND FILL EXTENTS SHALL BE PROVIDED IN AN AS-BUILT SURVEY AT THE TIME OF SUBSTANTIAL PROJECT COMPLETION.

ENVIRONMENTAL PROTECTION NOTES

1. THE CONTRACTOR SHALL COMPLY WITH THE STANDARD MANATEE CONDITIONS FOR IN-WATER WORK (2011) FOR PROTECTION OF MANATEES, SEA TURTLES AND SMALLTOOTH SAWFISH
- 1.1. THE CONTRACTOR SHALL INSTRUCT ALL PERSONNEL ASSOCIATED WITH THE PROJECT OF THE POTENTIAL PRESENCE OF THESE SPECIES AND THE NEED TO AVOID COLLISIONS WITH MANATEES, SEA TURTLES AND SMALLTOOTH SAWFISH. ALL CONSTRUCTION PERSONNEL ARE RESPONSIBLE FOR OBSERVING WATER-RELATED ACTIVITIES FOR THE PRESENCE OF THESE SPECIES.
- 1.2. THE CONTRACTOR SHALL ADVISE ALL CONSTRUCTION PERSONNEL THAT THERE ARE CIVIL AND CRIMINAL PENALTIES FOR HARMING, HARASSING, OR KILLING MANATEES, SEA TURTLES OR SMALLTOOTH SAWFISH, WHICH ARE PROTECTED UNDER THE ENDANGERED SPECIES ACT OF 1973.
- 1.3. SILTATION BARRIERS SHALL BE MADE OF MATERIAL IN WHICH A MANATEE, SEA TURTLE OR SMALLTOOTH SAWFISH CANNOT BECOME ENTANGLED. SILTATION BARRIERS SHALL BE PROPERLY SECURED AND REGULARLY MONITORED TO AVOID PROTECTED SPECIES ENTRAPMENT. BARRIERS MAY NOT BLOCK MANATEE, SEA TURTLE OR SMALLTOOTH SAWFISH ENTRY TO OR EXIT FROM DESIGNATED CRITICAL HABITAT WITHOUT PRIOR AGREEMENT FROM THE NATIONAL MARINE FISHERIES SERVICE'S PROTECTED RESOURCES DIVISION, ST. PETERSBURG, FLORIDA.
- 1.4. SILTATION BARRIERS, STAKES, ROPES AND/OR ANCHORS MUST REMAIN 3 FEET FROM ANY SUBMERGED AQUATIC VEGETATION.
- 1.5. ALL VESSELS ASSOCIATED WITH THE CONSTRUCTION PROJECT SHALL OPERATE AT NO WAKE/IDLE SPEEDS AT ALL TIMES WHILE IN THE CONSTRUCTION AREA AND WHILE IN WATER DEPTHS WHERE THE DRAFT OF THE VESSEL PROVIDES LESS THAN A FOUR-FOOT CLEARANCE FROM THE BOTTOM. ALL VESSELS WILL PREFERENTIALLY FOLLOW DEEP-WATER ROUTES (E.G., MARKED CHANNELS) WHENEVER POSSIBLE.
- 1.6. IF A MANATEE, SEA TURTLE OR SMALLTOOTH SAWFISH IS SIGHTED WITHIN 100 YARDS OF THE ACTIVE DAILY CONSTRUCTION OPERATION OR VESSEL MOVEMENT, ALL APPROPRIATE PRECAUTIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR TO ENSURE ITS PROTECTION. THESE PRECAUTIONS SHALL INCLUDE CESSATION OF OPERATION OF ANY MOVING EQUIPMENT CLOSER THAN 50 FEET OF A MANATEE, SEA TURTLE OR SMALLTOOTH SAWFISH. OPERATION OF ANY MECHANICAL CONSTRUCTION EQUIPMENT SHALL CEASE IMMEDIATELY IF A MANATEE, SEA TURTLE OR SMALLTOOTH SAWFISH IS SEEN WITHIN A 50 - FT RADIUS OF THE EQUIPMENT'S ACTIVITIES MAY NOT RESUME UNTIL THE PROTECTED SPECIES HAS DEPARTED THE PROJECT AREA OF ITS OWN VOLITION.
- 1.7. ANY COLLISION WITH AND/OR INJURY TO A MANATEE, SEA TURTLE OR SMALLTOOTH SAWFISH SHALL BE REPORTED IMMEDIATELY TO THE CONDO/ENGINEER AND TO THE NATIONAL MARINE FISHERIES PROTECTED RESOURCES DIVISION (727-824-5312) AND TO THE LOCAL AUTHORIZED SEA TURTLE STRANDING/RESCUE ORGANIZATION.
2. CONTRACTOR SHALL NOT OCCUPY PRIVATE LAND OUTSIDE OF ANY EASEMENTS OR RIGHTS OF WAY.
3. MATERIAL REMOVED FROM BEYOND THE CONSTRUCTION LIMITS AS SPECIFIED ON THE CONTRACT DRAWINGS SHALL BE CONSIDERED EXCESSIVE EXCAVATION FOR WHICH PAYMENT WILL NOT BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEDERAL, STATE AND LOCAL REGULATORY PERMITS, REGULATIONS, VIOLATIONS AND/OR FEES AS A RESULT OF EXCESSIVE EXCAVATION.
4. IF ARCHEOLOGICAL OR HISTORIC RESOURCES ARE ENCOUNTERED THE CONTRACTOR SHALL NOTIFY THE CITY/ENGINEER IMMEDIATELY AND STOP WORK UNTIL DIRECTED TO RESTART.
5. THE CONTRACTOR SHALL STRICTLY ADHERE TO ALL MANATEE REGULATIONS FOR IN WATER WORK.
6. TURBIDITY CONTROL MEASURES WILL BE PROPERLY MAINTAINED IN COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY STANDARDS. IF TURBIDITY LEVELS EXCEED WATER QUALITY STANDARDS, EXCAVATION ACTIVITY WILL CEASE UNTIL LEVELS RETURN TO THE ACCEPTABLE RANGE. WATER QUALITY WILL BE MONITORED BY THE CITY'S REPRESENTATIVE. SHOULD TURBIDITY BE MEASURED MORE THAN 20 FEET ABOVE BACKGROUND, WORK WILL CEASE UNTIL TURBIDITY HAS FALLEN TO AN ACCEPTABLE BACKGROUND LEVEL.
7. BEST MANAGEMENT PRACTICES FOR EROSION AND TURBIDITY CONTROL, INCLUDING BUT NOT LIMITED TO THE USE OF STYKED MAT BALES, TURBIDITY BARRIERS, AND SILT SCREENS, SHALL BE USED AND MAINTAINED AS NECESSARY AT ALL TIMES DURING THE PROJECT. TURBIDITY CONTROL DEVICES SHALL BE MAINTAINED AND SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION TO ENSURE THAT TURBIDITY LEVELS OUTSIDE THE CONSTRUCTION AREA DO NOT EXCEED BACKGROUND LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT TURBIDITY CONTROL DEVICES ARE INSPECTED DAILY AND MAINTAINED IN GOOD WORKING ORDER SO THAT THERE ARE NO VIOLATIONS OF STATE WATER QUALITY STANDARDS OUTSIDE OF THE TURBIDITY SCREENS. A DAILY TURBIDITY LOG SHALL BE MAINTAINED BY THE CONTRACTOR WITH ENTRIES PRIOR TO THE START OF EACH DAYS WORK, EACH HOUR THROUGHOUT THE DAY, AND 30 MINUTES PRIOR TO THE END OF WORK. THE CONTRACTOR WILL EVALUATE THE IMPLEMENTATION, REPAIR/RENT, AND EFFECTIVENESS OF SILTATION/TURBIDITY CONTROL DEVICES.
8. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 7 DAYS AFTER DISTURBANCE.
9. THE CONTRACTOR SHALL DESTURB NO MORE GROUND THAN WAS NECESSARY FOR CONSTRUCTION. NO OPEN EXCAVATED TRENCH, OR OTHER UNSAFE CONDITION, WILL BE LEFT OVERNIGHT. ALL WORK SITES WILL BE COMPLETELY RESTORED WITHIN SEVEN (7) CALENDAR DAYS OF SITE COMPLETION. THE INTENT OF THIS PROVISION IS TO "SAVE UP" THE PROJECT SITE AS WORK PROGRESSES, AND SHALL INCLUDE REMOVING FORMS, FILLING HOLES, GRADING, AND REMOVAL OF DEBRIS.
10. ALL SEWERAGE DAMAGED BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR, AT THE DISCRETION OF THE ENGINEER.

TIDE DATUM TABLE

1. Tidal datum data obtained from the WEST TAMPА, HILLSBOROUGH RIVER BIDE STATION, STATION NO. 8726711

DATUM	ELEVATION (FT NAVD83)
MHW	+0.94
MHW	+0.69
NAVD83	0
MSL	-0.28
MLW	-1.29
MLLW	-1.64

CONSTRUCTION NOTES

1. ALL STONE SHALL BE HARD, DURABLE QUALITY STONE SUCH THAT IT WILL NOT DEGRADE UNDER THE ELEMENTS AND IT WILL NOT BREAK UNDER HANDLING. ALL STONE SHALL BE CLEAN AND FREE FROM EXCESS DIRT OR OTHER DEBRIS.
2. RFP-RAP SHALL PASS A DROF TEST AT THE QUARRY WITNESSED BY THE ENGINEER OR ENGINEER'S REPRESENTATIVE PRIOR TO TRANSPORTING THE FIRST TRUCKLOAD OF RFP-RAP TO THE PROJECT SITE.
3. THE FACES OF INDIVIDUAL PIECES OF STONE SHALL BE ROUGHLY ANGLAR, NOT ROUNDED, IN SHAPE. THE LEAST DIMENSION OF EACH STONE SHALL NOT BE LESS THAN ONE-THIRD (1/3) OF THE GREATEST DIMENSION OF THAT STONE.
4. THE STONES SHALL BE PLACED IN SUCH A MANNER THAT THEY WILL BE PROPERLY INTERLOCKED WITH THE UNDERLAY OR ADJACENT STONES TO RESIST DISPLACEMENT BY WAVE ACTION AND FORM A UNIFORM AND COMPACT SECTION. EACH STONE SHALL BE FIRMLY SET AND WELL-SUPPORTED BY UNDERLYING AND ADJACENT STONE WITH A MINIMUM OF 4 POINTS OF CONTACT.
5. "RFP-RAP" SHALL BE UP TO 2.5-FEET IN DIAMETER LIMESTONE AND NO SMALLER THAN 1.0 FOOT IN DIAMETER AND SHALL HAVE A MINIMUM UNIT WEIGHT OF 140 PCF.
6. RFP RAP SHALL CONSIST OF SOUND, HARD, DURABLE RUBBLE, FREE OF OPEN OR INCIDENT CRACKS, SOFT SPALLS OR OTHER STRUCTURAL DEFECTS, CONSISTING OF BROKEN STONE WITH A BULK SPECIFIC GRAVITY OF AT LEAST 2.30. ENSURE THAT STONES ARE ROUGH AND ANGULAR WITH A MAXIMUM DIAMETER OF 3.0 FEET (UNLESS OTHERWISE SPECIFIED). FOR THIS APPLICATION, USE BROKEN STONE MEETING THE FOLLOWING GRADATION AND THICKNESS REQUIREMENTS:

WEIGHT MAXIMUM (POUNDS)	WEIGHT 50% (POUNDS)	WEIGHT MINIMUM (POUNDS)	MINIMUM BLANKET THICKNESS (FEET)
750	500	250	2.0

ENSURE THAT AT LEAST 97% OF THE MATERIAL BY WEIGHT IS SMALLER THAN MAXIMUM POUNDS. ENSURE THAT AT LEAST 50% OF THE MATERIAL BY WEIGHT IS GREATER THAN WEIGHT 50% POUNDS. ENSURE THAT AT LEAST 50% OF THE MATERIAL BY WEIGHT IS GREATER THAN WEIGHT MINIMUM POUNDS.
7. EXISTING RFP RAP ON SITE CAN BE RE-USED IN THE BASE OF THE SILL STRUCTURE IF THE MATERIAL IS SUITABLE SIZE, HARDNESS AND DURABILITY. THIS WILL BE DETERMINED ON SITE BY A DROF TEST. IF MATERIAL CRACKLES OR FRACTURES IT MUST BE REMOVED AND DEPOSITED OF CRUSTE, WIPED, BROKEN CONCRETE, CURB, OR BROKEN STORMWATER PIPE WILL BE NON-SUITABLE MATERIAL, AND MUST BE REMOVED AND DEPOSITED OF CRUSTE.
8. BEDDING STONE SHALL CONSIST OF SOUND, HARD, DURABLE RUBBLE, FREE OF OPEN OR INCIDENT CRACKS, SOFT SPALLS, OR OTHER STRUCTURAL DEFECTS, CONSISTING OF BROKEN STONE WITH A BULK SPECIFIC GRAVITY OF AT LEAST 1.8. ENSURE THAT STONES ARE ROUGH AND ANGULAR WITH A MINIMUM DIAMETER OF 3 INCHES AND A MAXIMUM DIAMETER OF 8 INCHES UNLESS OTHERWISE SPECIFIED. BEDDING MATERIAL WILL BE PLACED ON TOP OF THE GEOTEXTILE MATERIAL, 6 INCHES THICK.
9. GEOTEXTILE MATERIAL WHICH IS LAD UNDER THE BEDDING STONE AND RFP RAP SHALL MEET FOOT SECTION 985 FOR GEOTEXTILES MATERIALS, GEOTEXTILE ROP 4, OR EQUAL, AND INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.

OFF-SITE DISPOSAL NOTES

1. DEBRIS, SUCH AS STUMPS, ROCK FRAGMENTS, ROOTS, LOGS, TRASH, VEGETATION, FILTER FABRIC, ETC. AND ANY OTHER OBJECTS EXCEPT ARCHEOLOGICAL OR HISTORIC RESOURCES THAT EXIST WITHIN THE PROJECT AREA OR ARE UNWANTED DURING OPERATION, SHALL BE REMOVED, TRANSPORTED, AND DEPOSED OF AT THE COUNTY LANDFILL AND SHOULD BE EXPECTED TO BE ENCOUNTERED DURING THE OPERATIONS AND WILL NOT CONSTITUTE A CHANGE TO THE CONTRACT AGREEMENT. REMOVAL AND DISPOSAL OF DEBRIS AND OBSTRUCTIONS SHALL NOT BE PROVIDED FOR SEPARATELY FOR PAYMENT. ALL COSTS ASSOCIATED WITH THE REMOVAL AND DISPOSAL OF DEBRIS SHALL BE INCLUDED IN THE CONTRACT PRICE. THESE SPECIFICATIONS ARE NOT AN ALL-INCLUSIVE REPRESENTATION OF DEBRIS TYPES WHICH MAY BE ENCOUNTERED. IT IS ANTICIPATED THAT DURING CLEARING/CONSTRUCTION ACTIVITY DEBRIS (INCLUDED BUT NOT LIMITED TO VEGETATION, TREES, ROOTS, ROCKS, BEDROCK, FILTER FABRIC, CONCRETE, ASPHALT, WOOD, TRASH, GARBAGE, UNUSABLE SOIL, METAL, ETC.) WILL BE ENCOUNTERED. THE CONTRACTOR SHALL BE PREPARED AND RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL.
2. CONTRACTOR SHALL REMOVE AND DEPOSIT OF EXISTING MATERIALS OFF-SITE. (E.G. DESIGNATED VEGETATION, FILTER FABRIC, SILT FENCE, STYKED MAT, NON-AZULUM, CONCRE, ETC.)



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5404 CYPRESS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: 813.207.7200
WWW.ESASOCI.COM

Stamp: Digitally signed by Bryan D Flynn Date: 2024.03.07 05:23:11 -0500

CONSULTANT
THIS SEAL HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BRYAN D. FLYNN ON THE DATE ADJACENT TO THE SEAL.

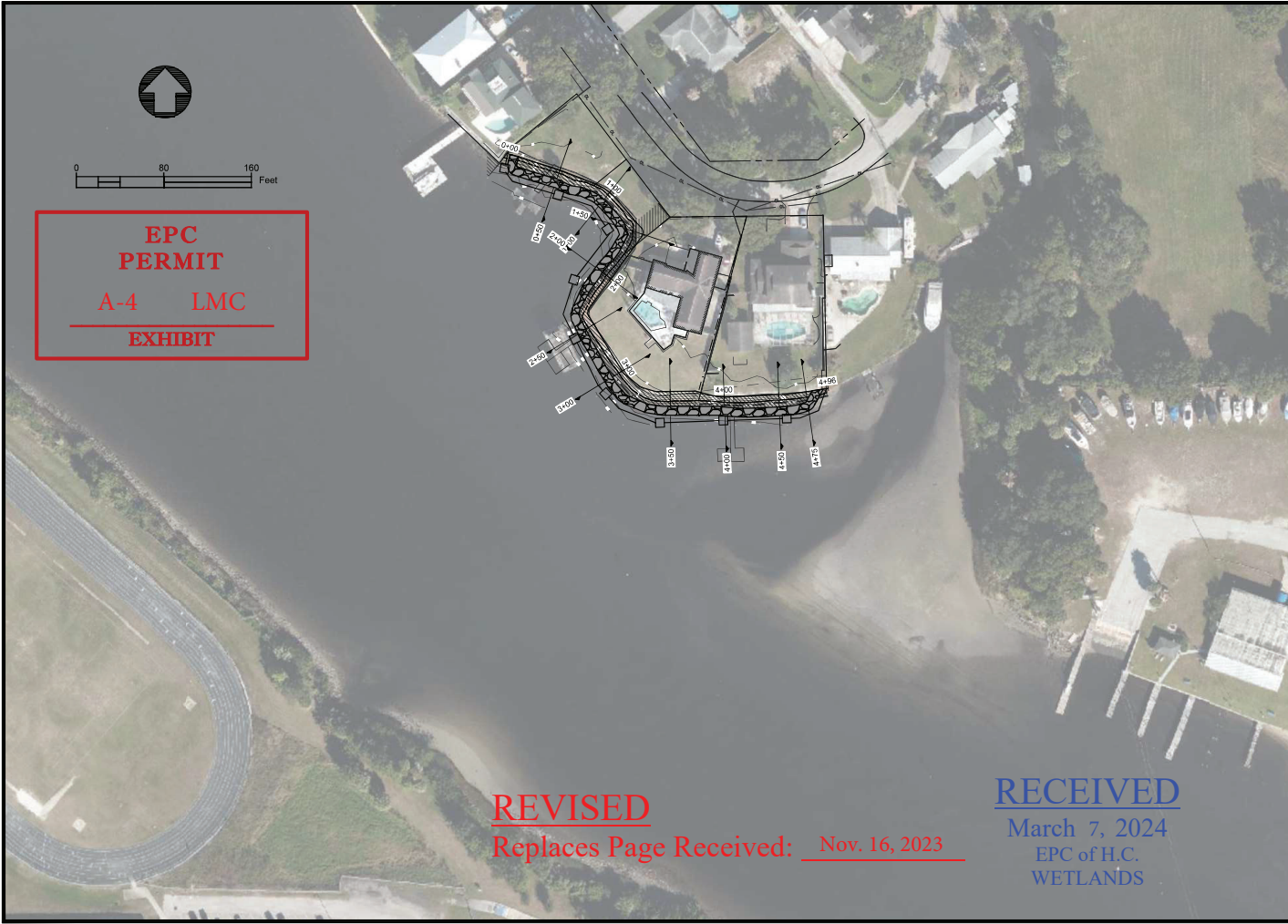
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HILLSBOROUGH RIVER LIVING SHORELINE
REVIEWER: DR. BRUCE TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED: LC
DRAWN: LC
CHECKED: CAR
IN CHARGE: BDF
FL 70866

PROJECT NUMBER: 0223004529
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27 X 34)
1" = 1'
PHASE: 100% PLANSET
SHEET TITLE: GENERAL NOTES
SHEET NUMBER: G-2
SHEET 2 OF 11



ESA
 5640 CROSS CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE: +813.257.7300
 WWW.ESASACC.COM

STAMP
 Digitally signed by
 Bryan D Flynn
 Date: 2024.03.07
 05:23:44
 -05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION
DESIGNED	LC	
DRAWN	LC	
CHECKED	CAR	
IN CHARGE	BDP	
PROJECT NUMBER: 0223045621		
ISSUE DATE: 03/06/2024		
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27.04")		
PHASE: 100% PLANSET		

SHEET TITLE
PLAN OVERVIEW

SHEET NUMBER
C-1

SHEET 3 OF 11

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**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED	LC
DRAWN	LC
CHECKED	CAR
IN CHARGE	BDP FL 70856

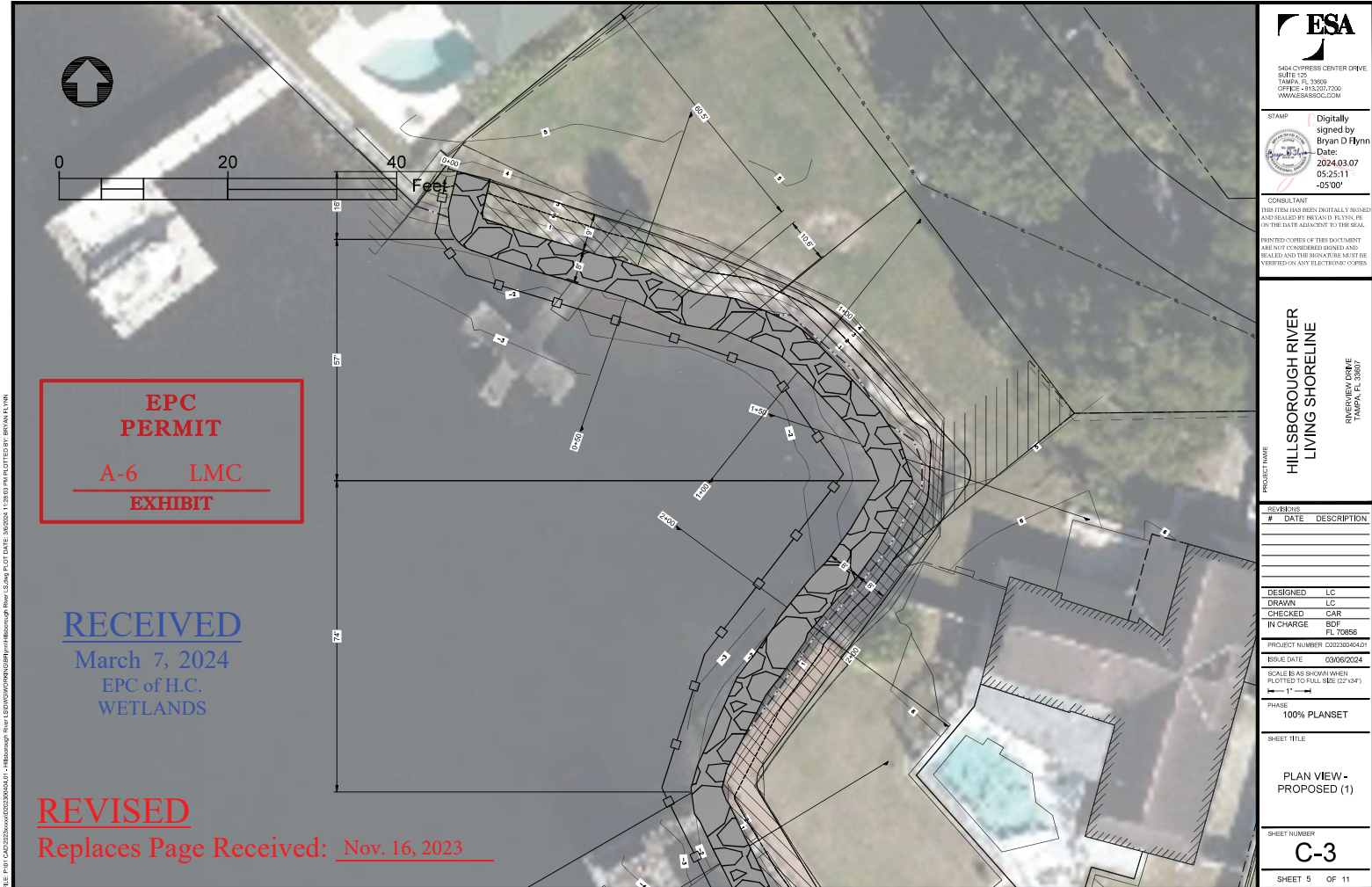
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PHASE:
100% PLANSET

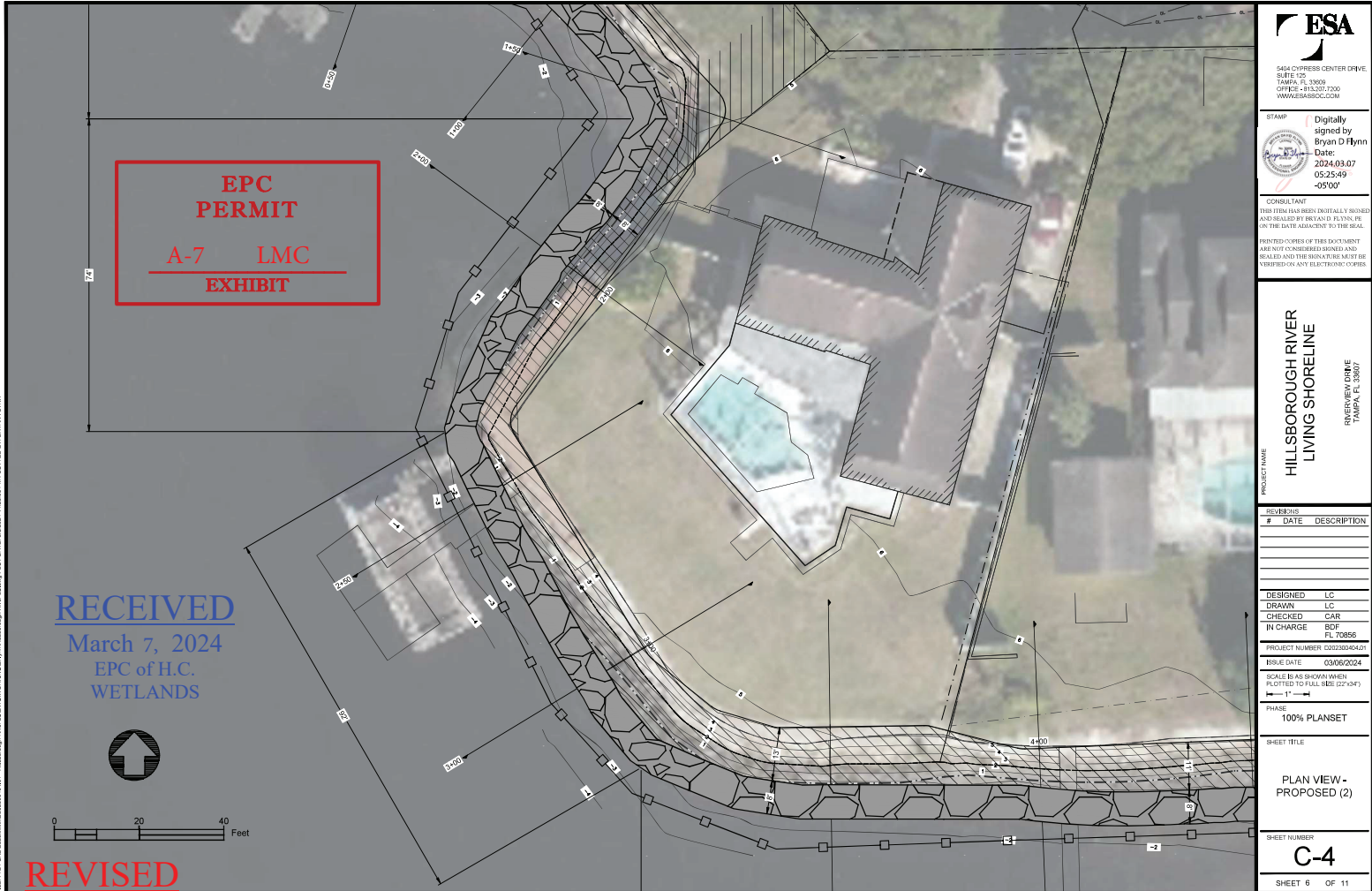
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**PLAN VIEW -
 EXISTING**

SHEET NUMBER:
C-2

SHEET 4 OF 11



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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
 DRAWN LC
 CHECKED OAR
 IN CHARGE BDF
 FL 70856

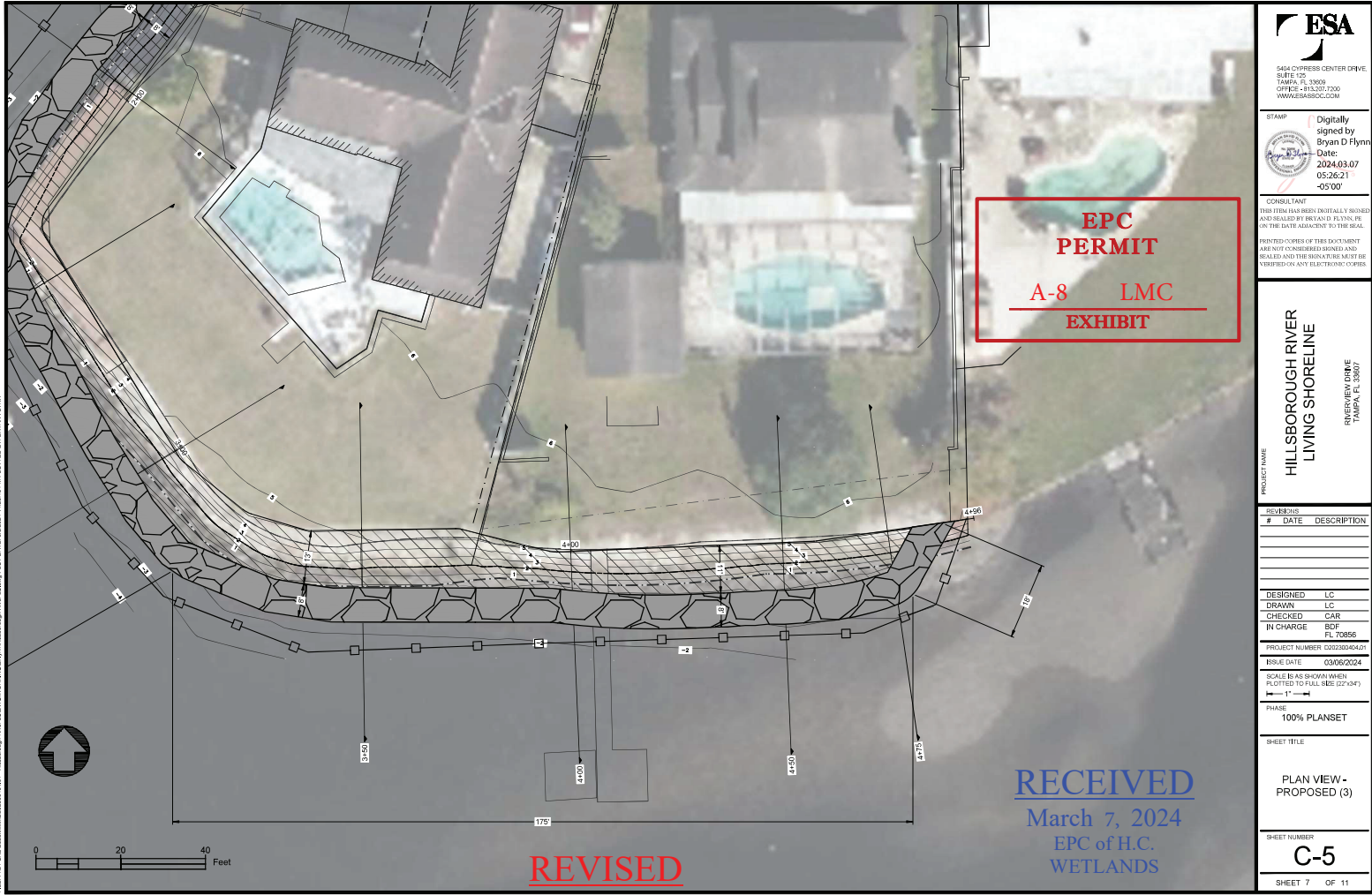
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 ISSUE DATE 03/06/2024
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 1" = 1'

PHASE
100% PLANSET

SHEET TITLE
**PLAN VIEW -
 PROPOSED (2)**

SHEET NUMBER
C-4
 SHEET 6 OF 11

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5840 CYPRESS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: +813.257.1700
WWW.ESASACC.COM

STAMP
Digitally signed by
Bryan D Flynn
Date:
2024.03.07
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-05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED	LC
DRAWN	LC
CHECKED	CAR
IN CHARGE	BDP FL 70856
PROJECT NUMBER: 0223040421	
ISSUE DATE: 03/06/2024	
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27.24") 1" = 1'	
PHASE: 100% PLANSET	
SHEET TITLE PLAN VIEW - PROPOSED (3)	
SHEET NUMBER C-5	
SHEET 7 OF 11	

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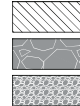
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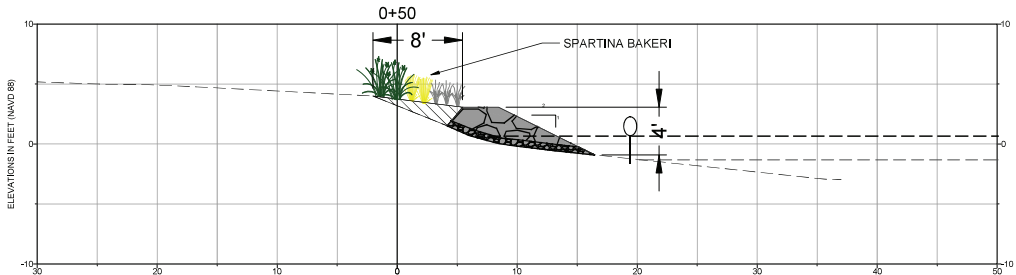
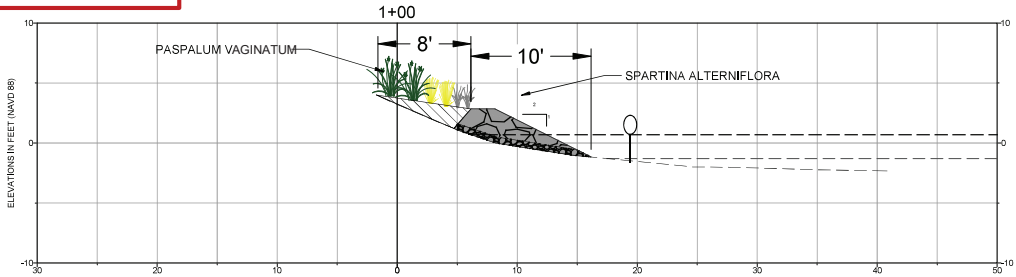
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SANDY FILL MATERIAL
LIMESTONE RIP RAP
BEDDING STONE



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VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE 1" = 4'

----- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- - - - - MEAN LOW WATER LINE = -1.29 FT (NAVD 88)

HILLSBOROUGH RIVER
LIVING SHORELINE
RIVERVIEW DRIVE
TAMPA, FL 33607

REV#	DATE	DESCRIPTION

DESIGNED: LC
DRAWN: LC
CHECKED: CAR
IN CHARGE: BDP
FL 70856

PROJECT NUMBER: 0223045427
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")
1" = 4'

PHASE: 100% PLANSET






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SHEET NUMBER: C-6
SHEET 8 OF 11

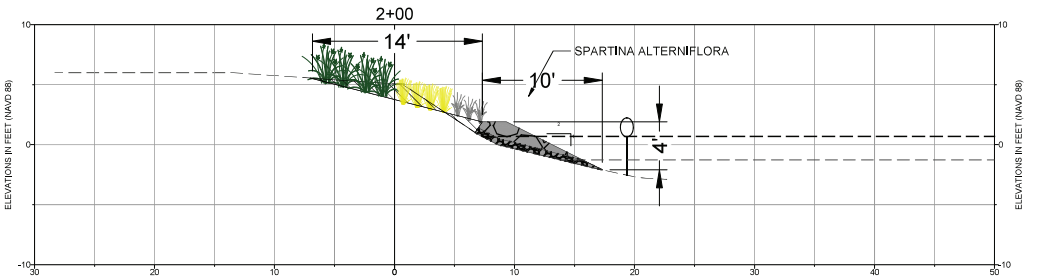
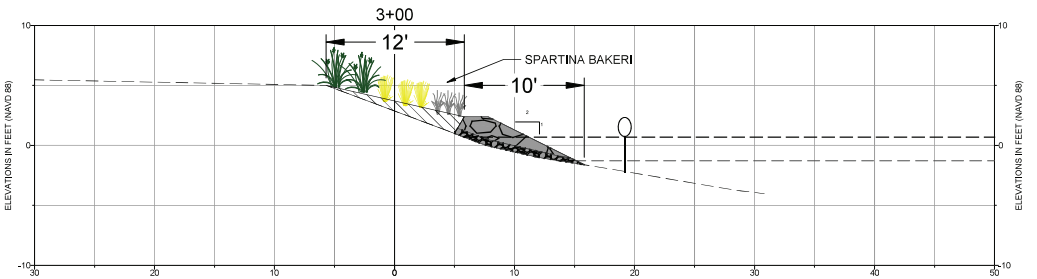
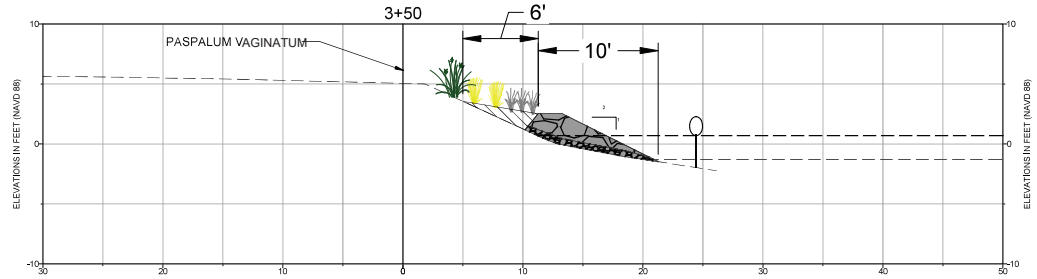
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-  SANDY FILL MATERIAL
-  LIMESTONE RIP RAP
-  BEDDING STONE
-  MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
-  MEAN LOW WATER LINE = -1.29 FT (NAVD 88)

VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE: 1" = 4'



5640 CYPRESS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: (813) 257-1700
WWW.ESASACC.COM

**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

DESIGNED LC
DRAWN LC
CHECKED CAR
IN CHARGE BDP
FL 70856

PROJECT NUMBER 0023045429
ISSUE DATE 03/06/2024
SCALE: AS SHOWN WHEN
PLOTTED TO FULL SIZE (27"X42")
1" = 4'

PHASE
100% PLANSET

SHEET TITLE
CROSS SECTIONS
(2)

SHEET NUMBER
C-7

SHEET 9 OF 11



5610 CHERRY CENTER DRIVE
SUITE 125
TAMPA, FL 33609
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HILLSBOROUGH RIVER
LIVING SHORELINE

RIVERVIEW DRIVE
TAMPA, FL 33607

PRODUCT NAME

REVISEMENTS

#	DATE	DESCRIPTION

DESIGNED	LC
DRAWN	LC
CHECKED	CAR
IN CHARGE	BDP FL 70856

PROJECT NUMBER: 0223045421

ISSUE DATE: 03/06/2024

SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")

1" = 1'

PHASE: 100% PLANSET

SHEET TITLE

CROSS SECTIONS (3)

SHEET NUMBER






C-8

SHEET 10 OF 11

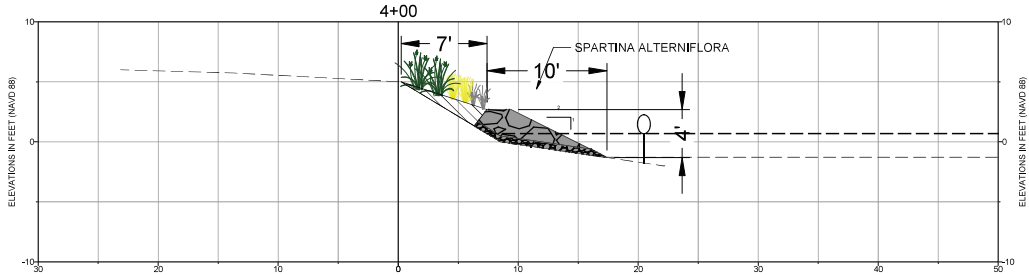
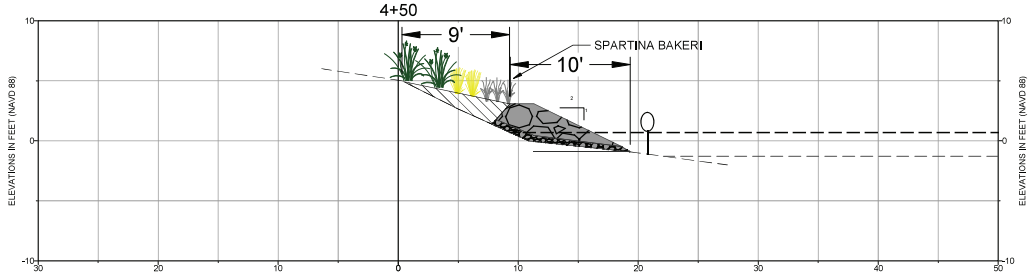
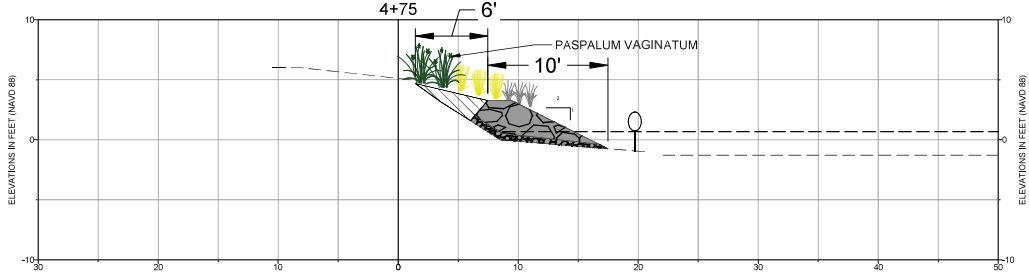
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-  SANDY FILL MATERIAL
-  LIMESTONE RIP RAP
-  BEDDING STONE
-  MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
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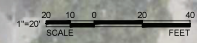
VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE: 1" = 4'



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LEGEND:

- SPARTINA ALTERNIFLORA
- SPARTINA BAKERI
- PASPALUM VAGINATUM



ESA
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 TAMPA, FL 33609
 OFFICE: +1 813 237 1700
 WWW.ESASACC.COM

**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED: LC
 DRAWN: LC
 CHECKED: CAR
 IN CHARGE: BDP
 FL 70856

PROJECT NUMBER: 022304527
 ISSUE DATE: 03/06/2024
 SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")
 1" = 1'

PHASE: 100% PLANSET

SHEET TITLE: PLANTING PLAN

SHEET NUMBER: **P-1**
 SHEET 11 OF 11

**EPC
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 A-12 LMC
 EXHIBIT**

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FILE PATH: C:\GEO\230452\022304527\PLANTING PLAN\022304527 - Hillsborough River Living Shoreline Planting Plan\022304527 - Hillsborough River Living Shoreline Planting Plan.dwg PLOT DATE: 3/6/2024 11:28:49 AM PLOTTED BY: BRYAN FLYNN

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Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org <noreply@fs2.formsite.com>
Sent: Friday, September 8, 2023 6:39 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14524875

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	BFLYNN@ESASSOC.COM
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Request permission to <u>*install</u> limestone rip rap sill and sloped fill planted with native estuarine vegetation for <u>*shoreline stabilization</u>
Item #146	Request to be present at site inspection.
Owner First Name	David
Owner Last Name	Reed
Mailing Address	2108 N. Riverside Dr.
City	Tampa
State	FL
Zip Code	33602
Owner Telephone Number(s)	8135792016
Email Address	dreed@shepardcap.com
Are you using an agent?	Yes
Agent First Name	Bryan
Agent Last Name	Flynn
Company Name (if applicable)	ESA

Street Address	5404 Cypress Center Drive, Suite 125
City	Tampa
State	FL
Zip Code	33609
Telephone Number(s)	7726335300
Email Address	bflynn@esassoc.com
Site Street Address	2108 N. Riverside Dr.
City	Tampa
State	FL
Zip Code	33602
Folio Numbers(s) of Site	1835506000
Parcel ID:	
Section	
Required	14
Township	
Required	29S
Range	
Required	18E
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Tampa Port Authority
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	Maintenance / Replacement

2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes) Other Shoreline Stabilization

Item #237

Length of Shoreline at Site (in linear feet)

(if applicable) 117

Length of Work Proposed Along Shoreline (in linear feet)

(if applicable) +/-113 *

Seawall Vertical Height (in feet)

Rip-Rap Slope - Horizontal Distance (in feet)

(if applicable) 10 *

Rip-Rap Slope - Vertical Height (in feet)

(if applicable) 4 *

Type of Material

(if applicable) limestone rip rap

Dredged Volume (in cubic feet)

(if applicable) 0

Filled Volume (in cubic feet)

(if applicable) 300

C. Filling Check if Filling

1) Volume

Volume - Above OHW/MHW

(required) 170

Volume - Below OHW/MHW

(required) 130

Volume - Total (in cubic yards)

(required) 300

2) Area

Area - Above OHW/MHW

(required) 3974

Area - Below OHW/MHW

(required)	4546
Area - Total (in square feet)	
(required)	8520
3) Containment	Other
If Other:	Floating Turbidity Barrier
4) Type of Material	Sandy Fill
5) Source of Material	Off-site
If Off-site:	Will be mined sandy fill material
To Begin On:	11/06/2023
To Be Completed By:	02/29/2024
Enter any additional remarks for the project.	The project is designed to lessen the shoreline slope to be suitable for native vegetation. The rip rap sill will protect the toe of slope and provide essential fish habitat
Public Interest Comment Box:	The project will extend no more than 10 feet seaward of the existing MHWL. so it will not impact navigation and there are no submerged resources present.
1st Adjacent Property Owner Name(s)	Michael Fout
Mailing Address	2204 North Riverside Drive
City	Tampa
State	FL
Zip Code	33602
2nd Adjacent Owner	Maltarp Life Estate
Mailing Address	2106 North Riverside Drive
City	Tampa
State	FL
Zip Code	33602
OWNER / APPLICANT ACKNOWLEDGEMENT	I am an agent filling out the application on behalf of the owner.
Please download, complete and sign the Owner's Authorization Form. Then upload the signed authorization document here:	Owner Applicant Auth Reed 7-8-23.pdf (201 KB)

Ecosphere Restoration Institute, Inc. Contract General Terms and Conditions

These General Terms and Conditions are incorporated into the Proposal of Ecosphere Restoration Institute, Inc., Consultant, for the performance of the work and services described in the Short Form Scope and Fee/Contract for the benefit of David Reed, Client and together shall constitute the Agreement between Consultant and Client under which the work and services are to be performed by Consultant for Client.

Standard of Care: Consultant represents and warrants that it possesses the training, education, experience, skill, competence, and resources needed to properly perform the Scope of Work set forth in this Agreement. Consultant further represents and warrants that the work and services performed by Consultant under this Agreement will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the Consultant's profession currently practicing in the State of Florida. No other representation, warranty, or guarantee, express or implied, is intended.

Right of Entry: If the services to be performed under the Scope of Work are to be performed on property controlled by Client, Client hereby grants Consultant and its subcontractors the right to enter from time to time in order for Consultant to fulfill the Scope of Work.

Client Disclosures: Client shall notify Consultant of any known or suspected hazardous substances or conditions on the property upon which the Consultant's work or services are to be performed which in any way relate to or affect the Scope of Work and Consultant shall have the right to rely on the accuracy of such Client-furnished information in its agreement to perform the work and services. Such hazardous substances shall include but not be limited to any substance or condition which poses or may pose a present or potential hazard to human health or safety or an adverse impact upon the environment.

Retainer/Payment: Client will pay a retainer to Consultant for the Services in the amount of 50% of total fee to complete project (\$6,250). This fee shall be payable in advance upon contract signing. The remaining 50% fee will be due at project completion.

Mediation of Disputes: All claims, disputes or controversies arising out of, or in relation to the interpretation, application or enforcement of this Agreement shall be decided through mediation. Costs related to mediation shall be mutually shared between or among the Parties.

Limitation of Consultant Liability: In the event Consultant fails to perform its work or services under this agreement, its entire liability to Client shall not exceed the amount of cash the Consultant has received from the Client. Consultant shall not be liable to Client for any indirect, special or consequential damages, nor for any claim against Client by any person or entity arising from or in any way related to this Agreement.

Termination: Client or Consultant may immediately terminate this Agreement for breach of this Agreement or when it is determined that the work or services being performed is contrary to existing law. Client may terminate this Agreement for any reason. In the event of such termination for convenience, Client shall give Consultant 14 calendar days notice of the effective date of termination. Consultant shall use this period to wind down its activities, and secure the site upon which any work or services under the Scope of Work are being performed. Consultant shall promptly render to Client a final invoice and Client shall pay Consultant for services rendered and costs incurred up to the effective date of termination.

This Agreement shall be interpreted according to the laws of the State of Florida.



Ecosphere Restoration Institute, Inc.



David Reed

8/3/2022

Date



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. A. 3. Minor Work Permit No. 78274 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
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Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

March 14, 2024

Zorb LLC (Sent via email)
c/o Erich McCartney
erich.mccartney@gmail.com
701 S. Howard STE 106 - 149
Tampa, FL 33606

Permittee:	ZORB LLC
Permit Number:	78274
Type of Permit:	INTENT TO ISSUE MINOR WORK PERMIT FOR THE INSTALLATION OF RIP-RAP AND NATIVE WETLAND PLANTINGS WITH REGRADING FOR SHORELINE STABILIZATION
Project Address:	NO PHYSICAL ADDRESS - NORTH RIVERSIDE DRIVE, TAMPA, FL 33602 / FOLIO 183543-0100
Issuance Date:	APRIL 8, 2024
Expiration Date:	APRIL 8, 2027

Dear Mr. McCartney:

This Intent to Issue the Minor Work Permit (Permit) for the installation of rip-rap and native plantings with regrading for shoreline stabilization is issued to Zorb LLC (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until April 8, 2024.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Lynch".

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcsso.com
Brenda Greenwald - greenwaldb@hcpafl.org
Bryan Flynn - Environmental Science Associates - bflynn@esassoc.com
Thomas Ries - Ecosphere Restoration Institute, Inc. - tries@ecosphererestoration.org
City of Tampa - Construction Services Department - dave.jennings@tampagov.net
City of Tampa - Real Estate Department - Monica.Ammann@tampagov.net -
John.Archer@tampagov.net
Shawn College - colleges@plancom.org
Michael Fout - fout.michael@gmail.com

cc: Chao and Xue Yun Lin



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 78274

**PERMITTEE: ZORB LLC
701 S. HOWARD STE 106 - 149
TAMPA, FL 33606**

**AGENT: ENVIRONMENTAL SCIENCE ASSOCIATES
BRYAN FLYNN
5404 CYPRESS CENTER DRIVE, SUITE 125
TAMPA, FL 33609**

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 81 LINEAR FEET OF RIP-RAP AND THE STABILIZATION OF APPROXIMATELY 81 FEET OF SHORELINE WITH NATIVE WETLAND PLANTINGS PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

**PROJECT LOCATION: NO PHYSICAL ADDRESS - N. RIVERSID DRIVE,
TAMPA, FL 33602 / FOLIO 183543-0100 /
HILLSBOROUGH RIVER**

**DATE OF ISSUE: APRIL 8, 2024
EXPIRATION DATE: APRIL 8, 2027**

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

ENVIRONMENTAL PROTECTION COMMISSION
MINOR WORK PERMIT No. - 78274
SPECIFIC CONDITIONS
April 8, 2024

1. This Permit authorizes the installation of approximately 81 linear feet of rip-rap and stabilization of approximately 81 linear feet of shoreline with native wetland plantings.
2. This Permit does not authorize the filling of wetlands other than the placement of rip-rap and the placement of sandy fill for the native estuarine planting zone as shown on the EPC approved Permit exhibits.
3. This Permit does not authorize the placement of pilings or any other structures extraneous to the installation of the rip-rap revetment.
4. Be advised, if the proposed activity approved by this Permit is altered, a modification to this Permit with applicable application and fee may be required. Modifications include, but are not limited to, changes to the footprint of the proposed activity or adding structures such as: floating vessel platforms, floating docks, roofs, canopy covers, personal watercraft (PWC) lifts, etc. Modifications require review by EPC.
5. **The enclosed Permit Card shall be conspicuously displayed at the project site once work on this project has been initiated and shall remain so displayed until the project has been completed. Within fifteen (15) days of completion of this project, EPC is to be notified via email wetlandscompliance@epchc.org.**

RIP-RAP CONSTRUCTION SPECIFIC CONDITIONS

1. The structure shall be constructed as depicted per EPC approved Permit exhibits A-1 through A-12. **The dock structure depicted in the Permit exhibits is for illustration purposes only and is not approved as part of this Permit.**
2. The rip-rap shall be placed within the property limits as depicted per EPC approved Permit exhibits A-1, A-4, A-5, and A-6.
3. During the installation of the rip-rap material, a floating turbidity curtain and/or silt fence shall be deployed waterward of the work site and attached from adjacent shoreline to adjacent shoreline. The turbidity curtain/silt fence must remain in place until the work has ceased and any resultant construction-related turbidity has settled out. These measures should be removed as soon as water quality returns to sustainable background levels and/or all areas of disturbed soils are stabilized.
4. This Permit does not authorize the rip-rap installation to cover or obstruct any existing storm water outfall pipes.
5. The slope of the rip-rap revetment, in feet, will not exceed one (1) vertical to two (2) horizontal as depicted per EPC approved exhibit A-9.
6. The horizontal distance from the approximate mean high water line must be no more than 10 feet as depicted per EPC approved exhibits A-6, A-7, and A-9.
7. The rip-rap material shall consist entirely of clean concrete rubble or natural boulders one (1) foot to three (3) feet in average diameter as described per Construction Note #5 of the EPC

approved Permit exhibit A-3. No reinforcing rods or other similar protrusions in concrete rubble shall be exposed and the rip-rap material shall be free of attached sediments. The use of asphalt or other organic materials is prohibited.

8. Filter fabric shall be placed as described per Construction Note #9 of the EPC approved Permit exhibit A-3.
9. The rip-rap material shall remain unconsolidated.
10. This Permit does not authorize any dredging activity.
11. All wetland vegetation, including but not limited to mangroves, must be preserved during all construction authorized under this Permit. No mangrove removal is allowed. Further, no impacts to existing submerged aquatic vegetation, coral communities or oyster beds shall occur under this Permit.

PLANTING SPECIFIC CONDITIONS

12. Only the native, non-nuisance, vegetation listed in EPC approved permit exhibits A-9 through A-12 may be planted.
13. At a minimum, plants shall be spaced on two (2) foot centers
14. The applicant is responsible for removing non-native, nuisance vegetation from the native shoreline area.
15. Re-grading shall be limited to the amount necessary to correct the erosion and provide an adequate slope for plant recruitment and vegetation.

U.S. ARMY CORPS OF ENGINEERS SPGP DETERMINATION

Your proposed activity as outlined on your application and attached drawings does not qualify for Federal authorization pursuant to the State Programmatic General Permit and a SEPARATE permit or authorization shall be required from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345 or ENG FORM 6082, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at:

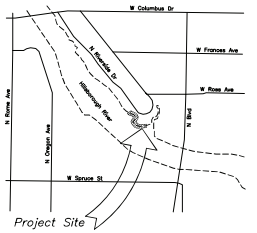
<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Legend of Symbols & Abbreviations

- Found Iron Pipe or Rod
- Set 5/8" Capped Iron Rod
- Temporary Benchmark
- Long-term Benchmark
- Dwell Reference
- Flat Reference
- Number
- Professional Surveyor and Mapper
- Licensed Business
- CD/AL/ROW
- Station Control Value
- Water Valve
- Spot Elevation
- Spot Elevation on Hard Surface
- Light Pole
- Power Pole
- Pole
- Tree
- Tree/Utility Line

Boundary, Partial Topographic & Tree Survey
Riverside Drive Living Shoreline
Section 14, Township 29 South, Range 18 East
Hillsborough County, Florida

Vicinity Map



Legal Description

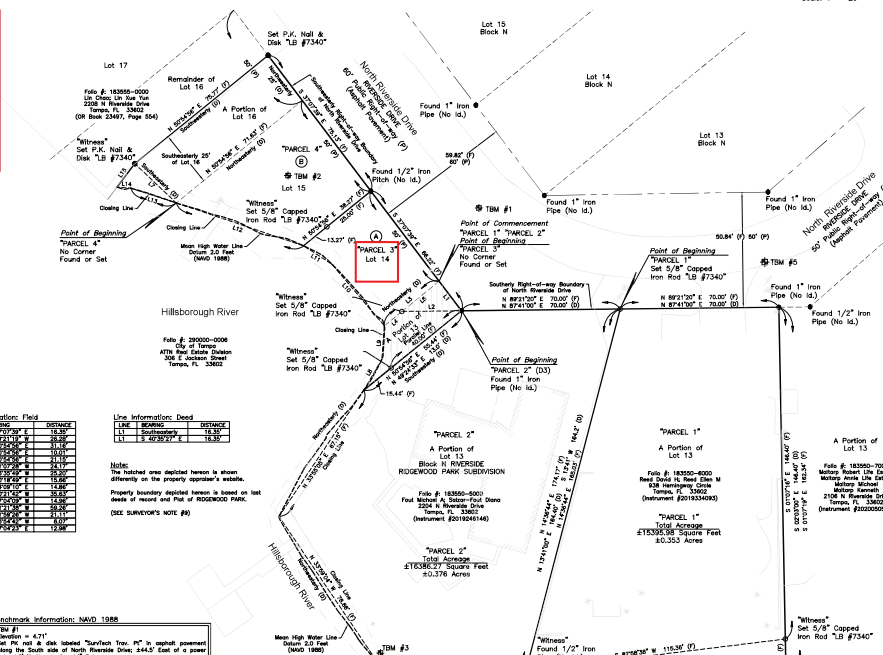
"PARCEL 1": (see instrument #201834683) Commencing at the point of beginning of the Southerly right-of-way line of Riverside Drive and the dividing line 13 and 14 of Block "Westside W", RIDGEWOOD PARK SUBDIVISION, as per map or plat recorded in Plat Book 10, on page 4 of the Public Records of Hillsborough County, Florida, run thence South 89°28'27" East, along the Southerly right-of-way line of Riverside Drive 162.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 120.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 164.00 feet, more or less, to the POINT OF BEGINNING, thence North 40°22'22" East, 164.00 feet, more or less, to the POINT OF BEGINNING.

"PARCEL 2": (see instrument #201834648) Commencing at the point of beginning of the Southerly right-of-way line of Riverside Drive and the dividing line 13 and 14 of Block "Westside W", RIDGEWOOD PARK SUBDIVISION, as per map or plat recorded in Plat Book 10, on page 4 of the Public Records of Hillsborough County, Florida, run thence South 89°28'27" East, along the Southerly right-of-way line of Riverside Drive 162.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 120.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 164.00 feet, more or less, to the POINT OF BEGINNING, thence North 40°22'22" East, 164.00 feet, more or less, to the POINT OF BEGINNING.

"PARCEL 3": (see instrument #202231620) Commencing at the point of beginning of the Southerly right-of-way line of Riverside Drive and the dividing line 13 and 14 of Block "Westside W", RIDGEWOOD PARK SUBDIVISION, as per map or plat recorded in Plat Book 10, on page 4 of the Public Records of Hillsborough County, Florida, on the office of the Clerk of the Circuit Court of Hillsborough County, Florida, and the portion of Lot 13 in Block "Westside W", RIDGEWOOD PARK SUBDIVISION, as per map or plat recorded in Plat Book 8 of the Public Records of Hillsborough County, Florida, more particularly described as follows: Begin at a point on the Southerly right-of-way line of Riverside Drive where the boundary line between said Lot 13 and Lot 14 of said Block "Westside W", Plat Book 8 of the Public Records of Hillsborough County, Florida, intersects with said Southerly right-of-way line, run thence in a Southerly direction along said Southerly right-of-way line of Riverside Drive 162.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 120.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 164.00 feet, more or less, to the POINT OF BEGINNING, thence North 40°22'22" East, 164.00 feet, more or less, to the POINT OF BEGINNING.

"PARCEL 4": (see instrument #201834627) Commencing at the point of beginning of the Southerly right-of-way line of Riverside Drive and the dividing line 13 and 14 of Block "Westside W", RIDGEWOOD PARK SUBDIVISION, as per map or plat recorded in Plat Book 10, on page 4 of the Public Records of Hillsborough County, Florida, run thence South 89°28'27" East, along the Southerly right-of-way line of Riverside Drive 162.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 120.00 feet, more or less, to the POINT OF BEGINNING, run thence North 87°41'07" East, along the Southerly right-of-way line of Riverside Drive 164.00 feet, more or less, to the POINT OF BEGINNING, thence North 40°22'22" East, 164.00 feet, more or less, to the POINT OF BEGINNING.

EPC PERMIT
A-1 LMC EXHIBIT



Ownership Information

- Parcel 1: (see instrument #201834683) 701 S Henry Ave, Lot 149 Tampa, FL 33609 (Instrument #202314602)
- Parcel 2: (see instrument #201834648) 2230 W. Sunshine Ave Tampa, FL 33609 (Instrument #202314602)
- Parcel 3: (see instrument #202231620) 2230 W. Sunshine Ave Tampa, FL 33609 (Instrument #202314602)
- Parcel 4: (see instrument #201834627) 2230 W. Sunshine Ave Tampa, FL 33609 (Instrument #202314602)

Line Information Field

LINE NUMBER	BEARING	DISTANCE
11	S 27°00'00" W	13.00
12	S 87°41'07" E	120.00
13	N 87°41'07" W	120.00
14	S 87°41'07" E	164.00
15	N 40°22'22" E	164.00
16	S 89°28'27" E	162.00
17	S 89°28'27" E	162.00
18	S 89°28'27" E	162.00
19	S 89°28'27" E	162.00
20	S 89°28'27" E	162.00
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99	S 89°28'27" E	162.00
100	S 89°28'27" E	162.00

Flood Zone Information

Subject property is located in Flood Zone "A" Flood Insurance Rate Map 13007C, Panel No. 000. Hillsborough County, Florida.

Surveyor's Notes

1. Paper records of this survey are not attached to this original plat and should be held at a Florida Licensed Surveyor and Mapper. Digital copies are not valid without the digital signature of a Florida Licensed Surveyor and Mapper.
2. The bearing information for this survey is based on a NAD 1983 Florida State Plane East Zone, bearing of S 27°00'00" E for the Southerly Right-of-Way boundary of North Riverside Drive.
3. The instrument used for this project is a NAD 1983 Florida State Plane East Zone, bearing of S 27°00'00" E for the Southerly Right-of-Way boundary of North Riverside Drive.
4. The vertical datum utilized for this project is NAD 1983, Survey Feet. The benchmark utilized was Hillsborough County Benchmark "UC-260" with an elevation of 6.21 feet.
5. All utility depicted herein are from visible evidence only. Surveyor did not contact utility companies or locate any utilities not shown on the plat.
6. All underground boundaries or features were located or located by the surveyor. The location of all lines are shown on the plat.
7. Surveyor makes no guarantee as to the accuracy of trees or to the health of such trees depicted herein, if this information is necessary a certified arborist should be contacted.
8. The trees shown herein were located using methods adequate for their accurate location and identification. However, this survey and the showing hereon reserves the right to verify the location of all trees critical to the design of buildings, structures and other permanent features. It is the responsibility of the owner/professional to inform this company and/or the signing surveyor of any trees critical to their design so that these trees can be verified prior to the completion of the design.
9. This survey was performed without benefit of the policy or abstract. Therefore, surveyor can make no guarantee to certainty or accuracy. There may be additional easements and restrictions that can be found within the Public Records of Hillsborough County.

Benchmark Information: NAD 1983

- BM #1 Elevation = 4.71' Set 1/2" red disk labeled "Survey Tech. PL" in asphalt pavement along the South side of North Riverside Drive; 244.5' East of a power pole 50' northeast of a 14" pipe.
- BM #2 Elevation = 4.60' Set 1/2" red capped iron rod "Survey Tech. PL" in grass area; 440.3' West of a power pole; 231.5' South of a 10" Pipe; 87.7' Southwest from the Southwest corner of residence #204.
- BM #3 Elevation = 4.87' Set 1/2" red capped iron rod "Survey Tech. PL" in grass area; 440.3' West of a power pole; 248.7' West from a wood board fence; 24.8' East of the wood deck.
- BM #4 Elevation = 6.67' Set 1/2" red disk labeled "Survey Tech. PL" in asphalt pavement along the South side of North Riverside Drive; 18.7' North of a power pole; 217.3' Northeast from the power pole; 188.2' Northeast from a power pole.
- BM #5 Elevation = 4.07' Set 1/2" red disk labeled "Survey Tech. PL" in asphalt pavement along the South side of North Riverside Drive; 18.7' North of a power pole; 217.3' Northeast from the power pole; 188.2' Northeast from a power pole.

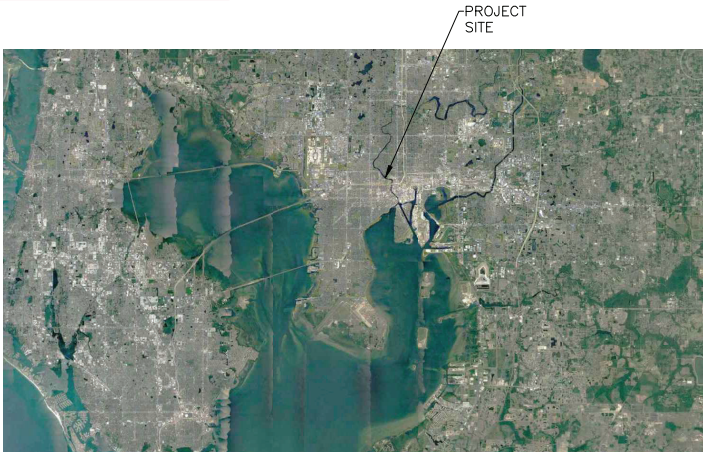
78274

**HILLSBOROUGH RIVER LIVING SHORELINE PROJECT
FOR: REED, FOUT & MCCARTNEY PRIVATE RESIDENCES
BY: ENVIRONMENTAL SCIENCE ASSOCIATES**

**EPC
PERMIT**

**A-2 LMC
EXHIBIT**

MARCH 6, 2024



Sheet List Table		
Sequence Number	Sheet Number	Sheet Title
1	G-1	COVER
2	G-2	GENERAL NOTES
3	C-1	PLAN OVERVIEW
4	C-2	PLAN VIEW - EXISTING
5	C-3	PLAN VIEW - PROPOSED (1)
6	C-4	PLAN VIEW - PROPOSED (2)
7	C-5	PLAN VIEW - PROPOSED (3)
8	C-6	CROSS SECTIONS (1)
9	C-7	CROSS SECTIONS (2)
10	C-8	CROSS SECTIONS (3)
11	P-1	PLANTING PLAN

RECEIVED
March 7, 2024
EPC of H.C.
WETLANDS

REVISED
Replaces Page Received: Nov. 16, 2023



STAMP
Digitally signed by
Bryan D Flynn
Date: 2024.03.07 05:22:37 -05'00'

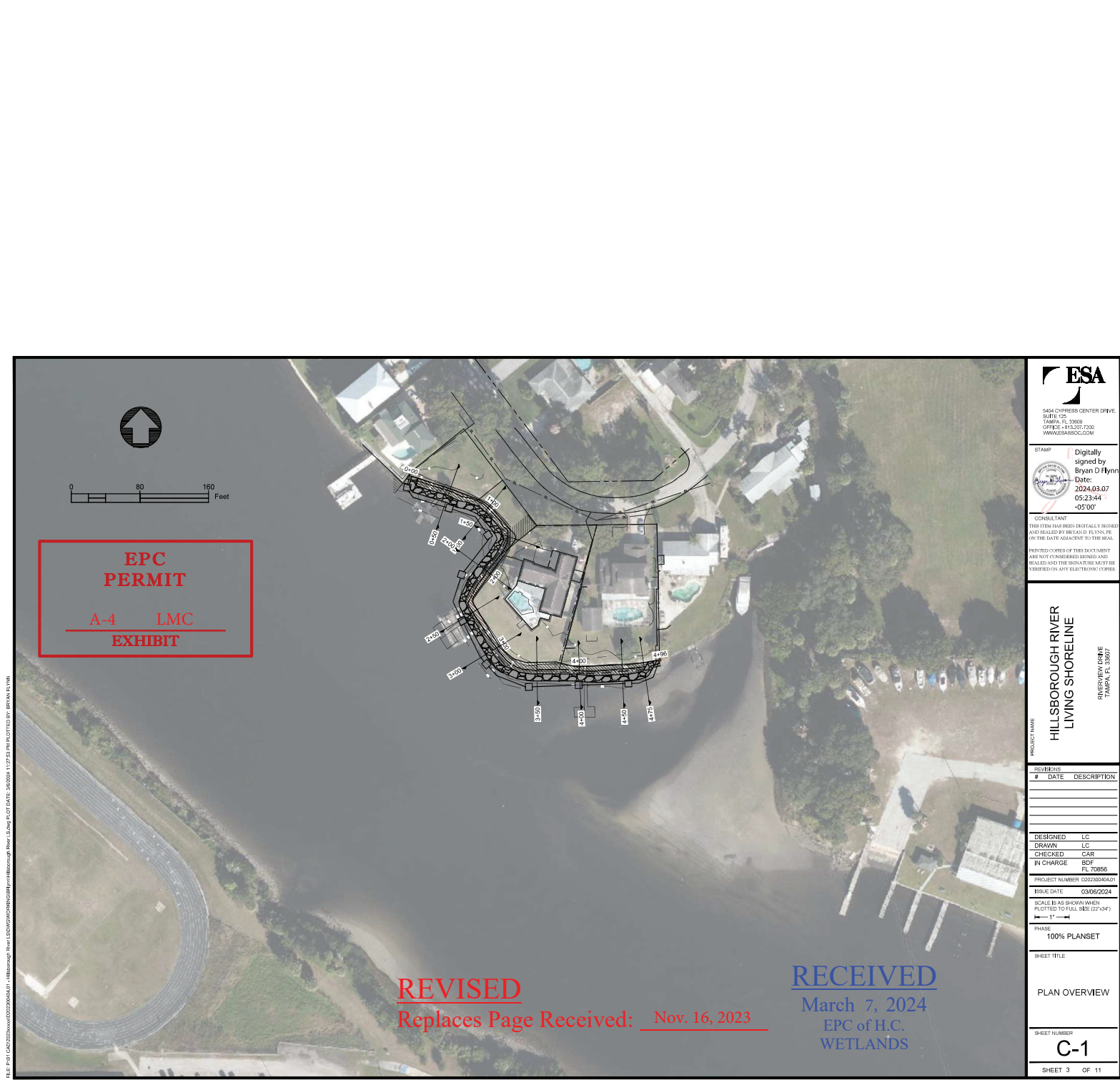
CONSULTANT
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**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
DRAWN LC
CHECKED CAR
IN CHARGE BDF
FL 70856

PROJECT NUMBER: 0223045621
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x36")
1" = 1'
PHASE: 100% PLANSET
SHEET TITLE: COVER
SHEET NUMBER: G-1
SHEET 1 OF 11



EPC PERMIT
 A-4 LMC
 EXHIBIT

REVISED
 Replaces Page Received: Nov. 16, 2023

RECEIVED
 March 7, 2024
 EPC of H.C.
 WETLANDS



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 Bryan D Flynn
 Date:
 2024.03.07
 05:23:44
 -05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

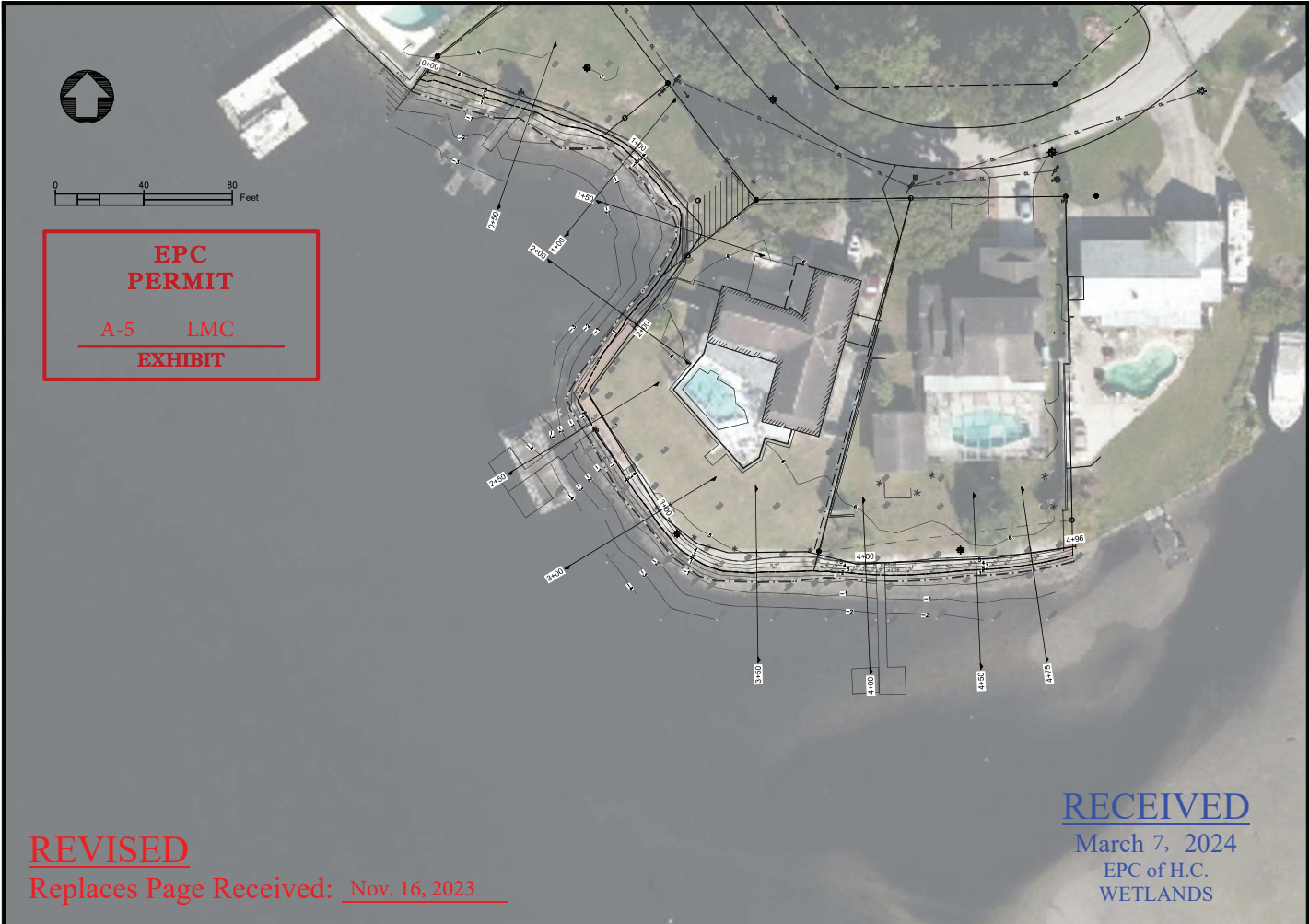
REVISED	DATE	DESCRIPTION

DESIGNED LC
 DRAWN LC
 CHECKED CAR
 IN CHARGE BDP
 FL 70856
 PROJECT NUMBER 0223040421
 ISSUE DATE 03/06/2024
 SCALE AS SHOWN WHEN
 PLOTTED TO FULL SIZE (27" X 36")
 1" = 100'

PHASE
100% PLANSET
 SHEET TITLE
 PLAN OVERVIEW

SHEET NUMBER
C-1
 SHEET 3 OF 11

78274



EPC PERMIT
A-5 LMC
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5614 CROSS CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE: 813.257.7300
 WWW.ESASACC.COM

STAMP

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 Date: 2024.03.07 05:24:21 -0500

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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
RIVERVIEW DRIVE
 TAMPA, FL 33607

<small>#</small>	<small>DATE</small>	<small>DESCRIPTION</small>

<small>DESIGNED</small> LC	<small>DRAWN</small> LC
<small>CHECKED</small> CAR	<small>IN CHARGE</small> BDP
<small>FL 70856</small>	

PROJECT NUMBER 0223045427
ISSUE DATE 03/06/2024
SCALE AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x36")
SCALE 1" = 40'

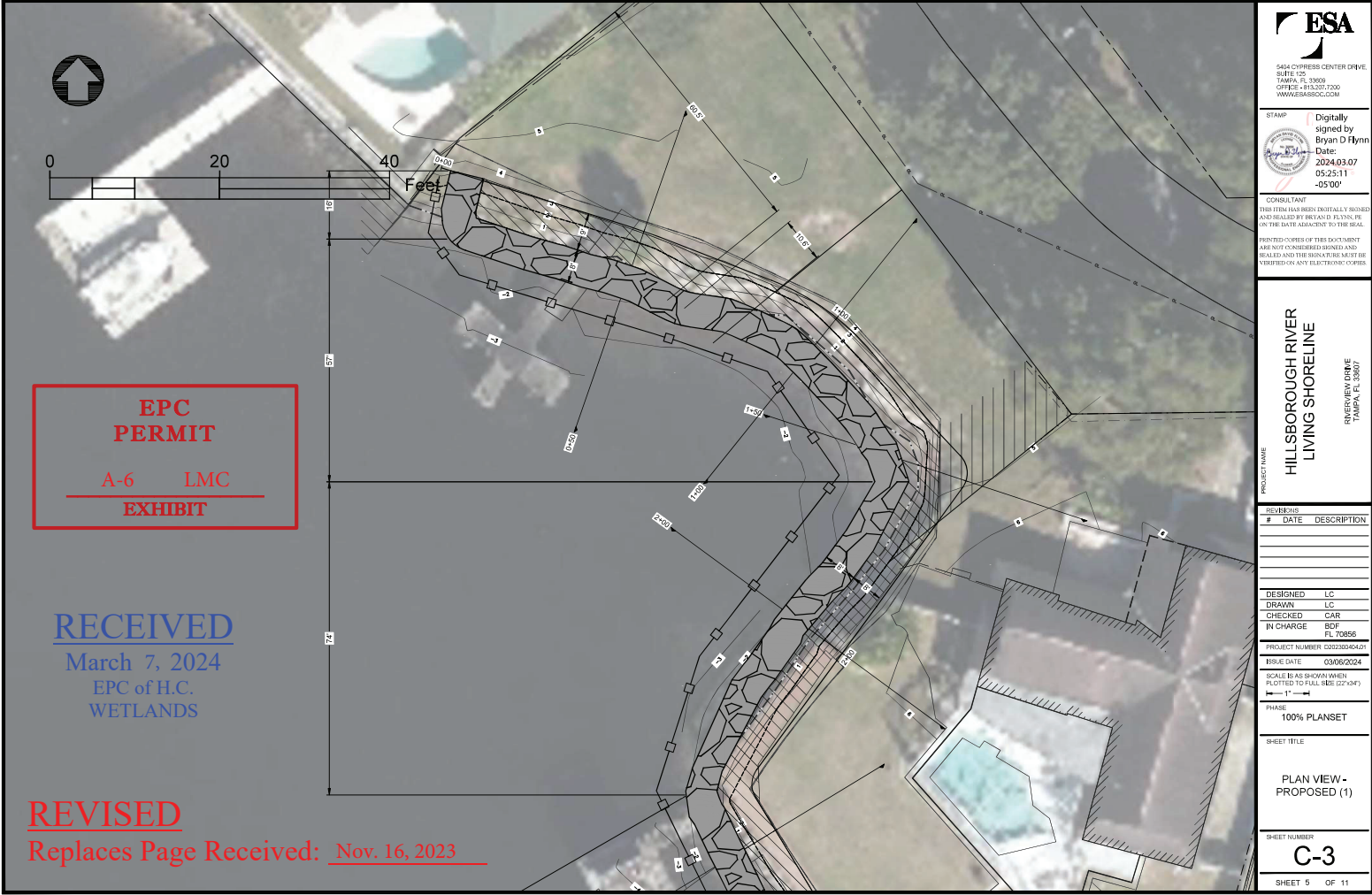
PHASE
100% PLANSET

SHEET TITLE
PLAN VIEW - EXISTING

SHEET NUMBER
C-2

SHEET 4 OF 11

78274



ESA
5640 CYPRESS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: +813.237.7300
WWW.ESASACC.COM

Stamp: Digitally signed by Bryan D Flynn
Date: 2024.03.07 05:25:11 -05'00'

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HILLSBOROUGH RIVER LIVING SHORELINE
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED	LC
DRAWN	LC
CHECKED	CAR
IN CHARGE	BDP FL 70856

PROJECT NUMBER: 0223045021
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27.24")
1" = 100'

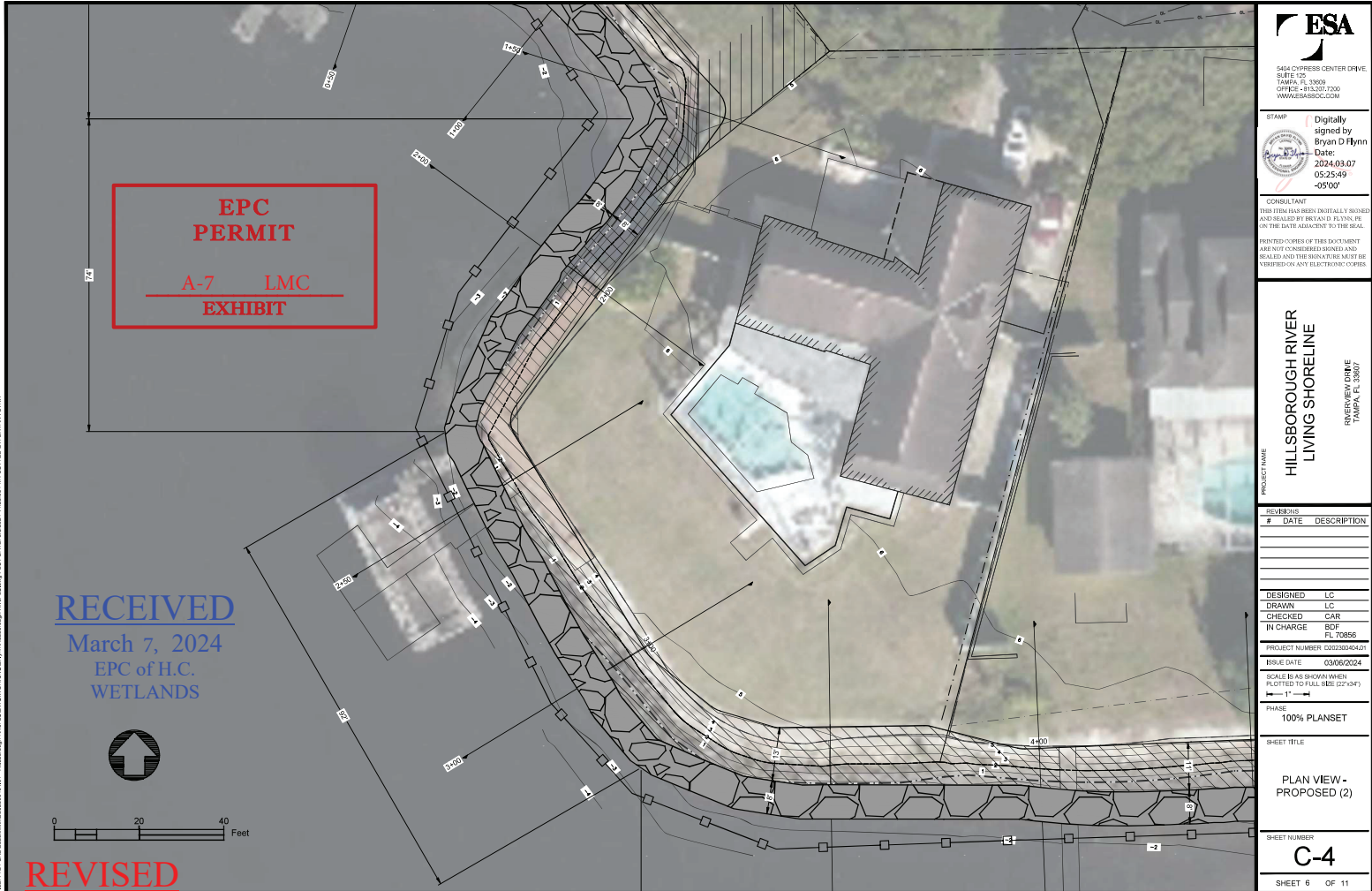
PHASE: 100% PLANSET

SHEET TITLE: PLAN VIEW - PROPOSED (1)

SHEET NUMBER: C-3

SHEET 5 OF 11

78274



ESA
 5610 CROSS CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE: +1(813)257-1700
 WWW.ESASASCC.COM

STAMP
 Digitally signed by
 Bryan D Flynn
 Date: 2024.03.07
 05:25:49
 -05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
 DRAWN LC
 CHECKED OAR
 IN CHARGE BDF
 FL 70856

PROJECT NUMBER 022304521
 ISSUE DATE 03/06/2024
 SCALE AS SHOWN WHEN
 PLOTTED TO FULL SIZE (27"x36")
 1" = 1'

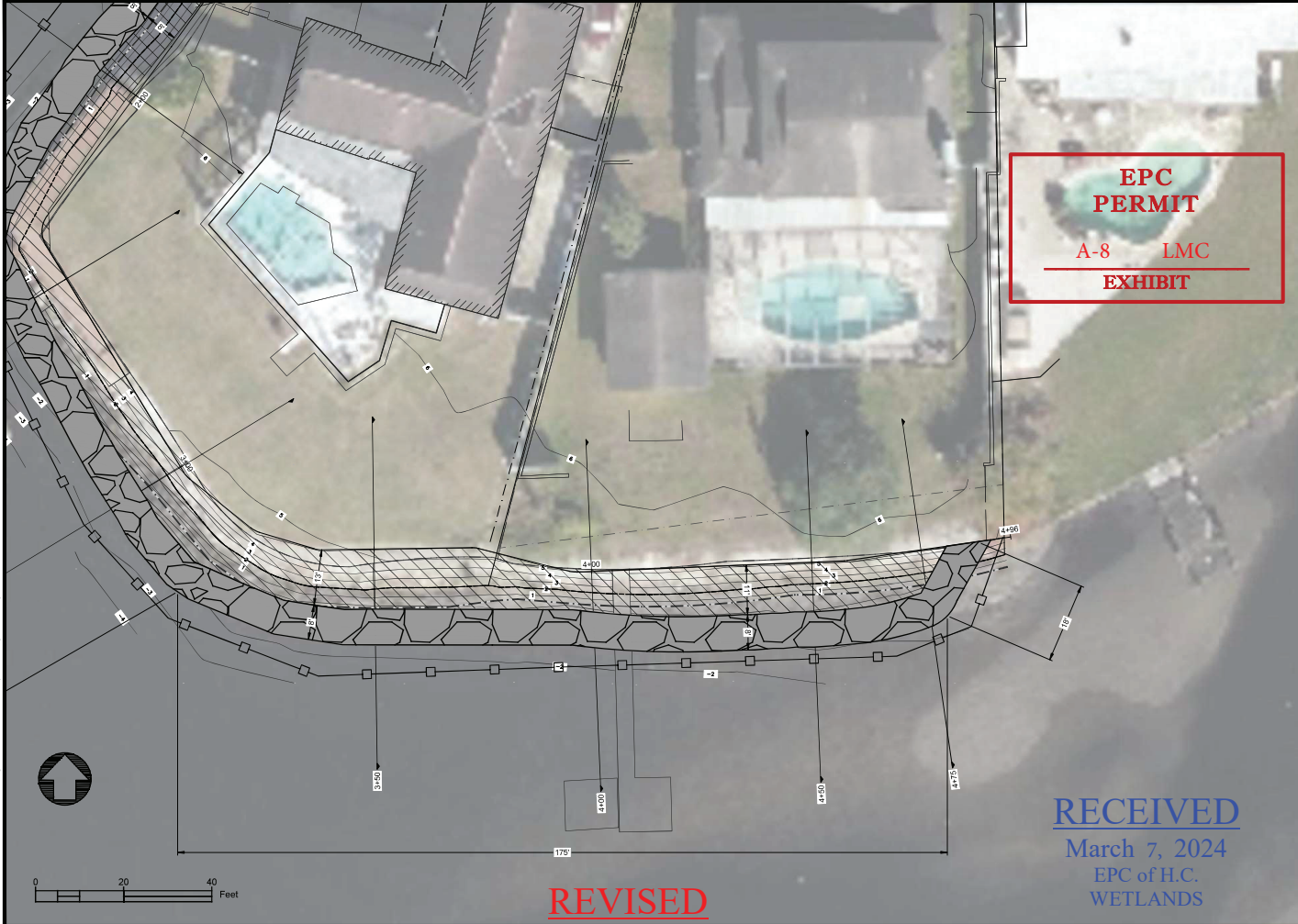
PHASE
100% PLANSET

SHEET TITLE
**PLAN VIEW -
 PROPOSED (2)**

SHEET NUMBER
C-4

SHEET 6 OF 11

REPLACES Received: Nov. 16, 2023
 78274



ESA
 5650 GYPSUM CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE: +813.237.1700
 WWW.ESASACC.COM

STAMP
 Digitally signed by
 Bryan D Flynn
 Date: 2024.03.07
 05:26:21
 -05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED: LC
 DRAWN: LC
 CHECKED: CCR
 IN CHARGE: BDF
 FL 70856

PROJECT NUMBER: 0223045621
 ISSUE DATE: 03/06/2024
 SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x36")
 1" = 1'

PHASE:
 100% PLANSET

SHEET TITLE
 PLAN VIEW -
 PROPOSED (3)

SHEET NUMBER
C-5
 SHEET 7 OF 11

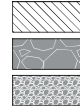
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Replaces Page Received: Nov. 16, 2023

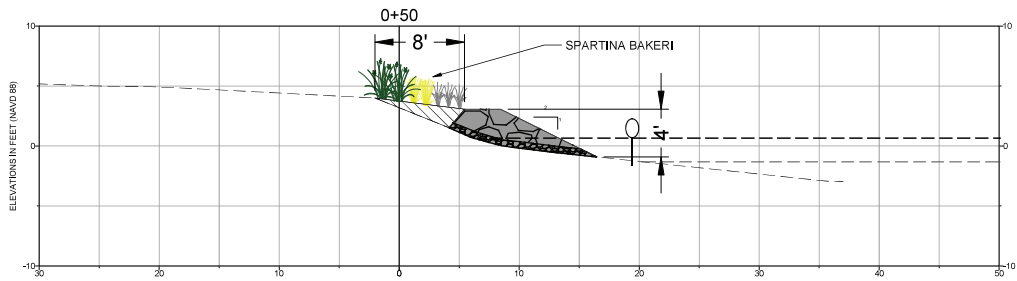
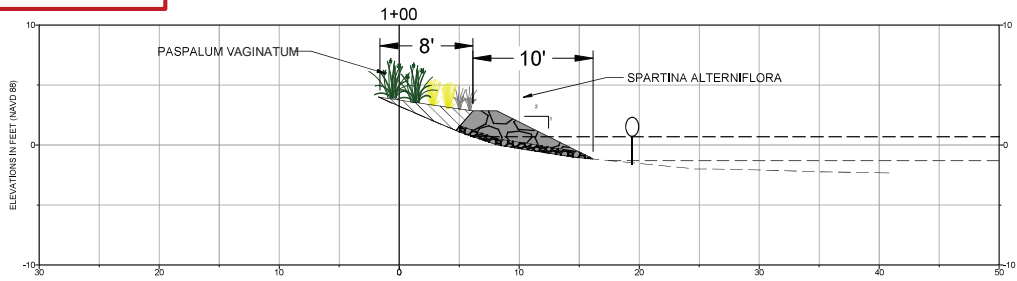
78274

EPC PERMIT

A-9 LMC EXHIBIT



SANDY FILL MATERIAL
LIMESTONE RIP RAP
BEDDING STONE



REVISED

Replaces Page Received: Nov. 16, 2023

VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE 1" = 4'

----- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- - - - - MEAN LOW WATER LINE = -1.29 FT (NAVD 88)

RECEIVED
March 7, 2024
EPC of H.C. WETLANDS

HILLSBOROUGH RIVER
LIVING SHORELINE
RIVERVIEW DRIVE
TAMPA, FL 33607

REVISED	DATE	DESCRIPTION

DESIGNED: LC
DRAWN: LC
CHECKED: CAR
IN CHARGE: BDP
FL 70856

PROJECT NUMBER: 0223045427
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")
1" = 4'

PHASE: 100% PLANSET

SHEET TITLE: CROSS SECTIONS (1)

SHEET NUMBER: C-6
SHEET 8 OF 11

**EPC
PERMIT**




A-10 LMC

EXHIBIT

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March 7, 2024
EPC of H.C.
WETLANDS

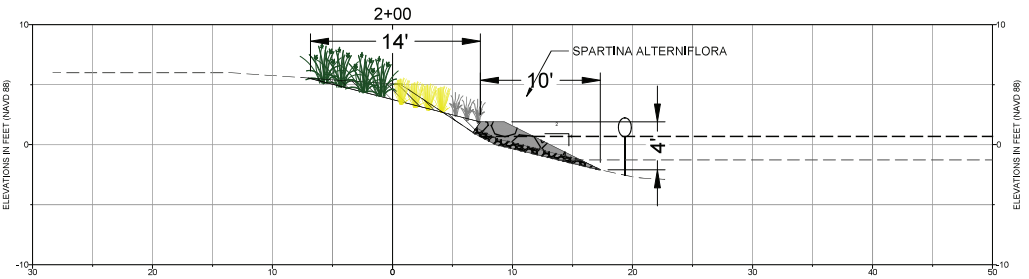
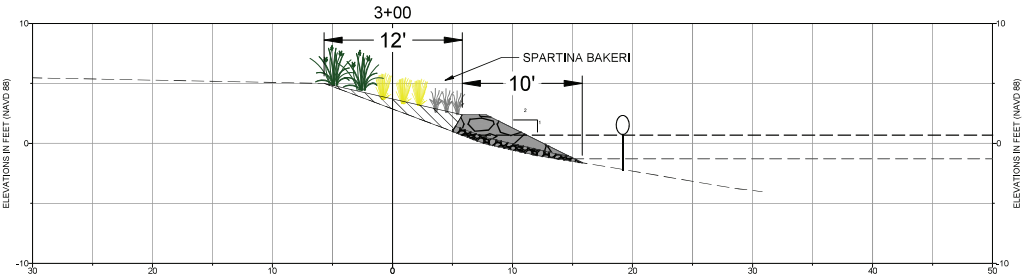
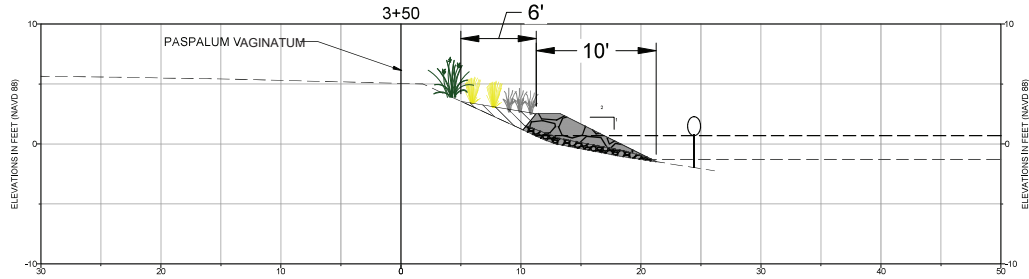
REVISED

Replaces Page Received: Nov. 16, 2023

-  SANDY FILL MATERIAL
-  LIMESTONE RIP RAP
-  BEDDING STONE

--- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- - - MEAN LOW WATER LINE = -1.29 FT (NAVD 88)

VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE: 1" = 4'



5640 CYPRESS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: (813) 257-1700
WWW.ESASCC.COM

**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED: LC
DRAWN: LC
CHECKED: CAR
IN CHARGE: BDP
FL 70856

PROJECT NUMBER: 0023045429
ISSUE DATE: 03/06/2024

SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"X42")
1" = 4'

PHASE: 100% PLANSET

SHEET TITLE:

CROSS SECTIONS (2)

SHEET NUMBER:

C-7

SHEET 9 OF 11

**EPC
PERMIT**

**A-11 LMC
EXHIBIT**

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WETLANDS

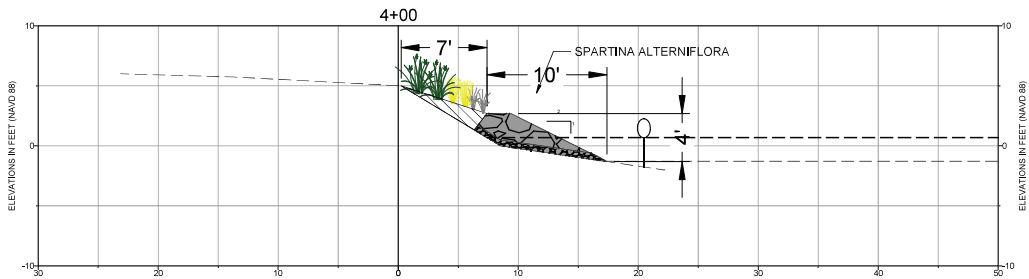
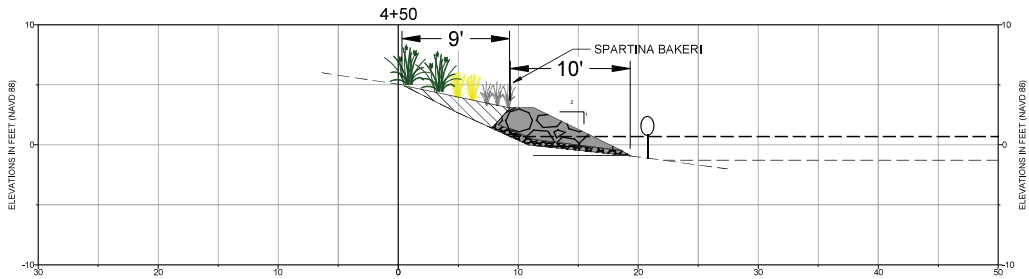
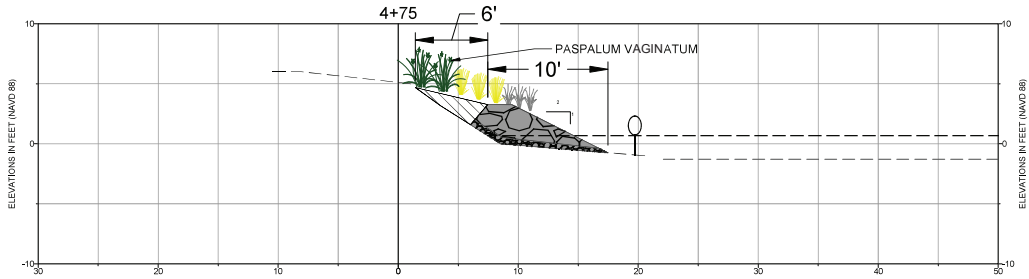
REVISED

Replaces Page Received: Nov. 16, 2023

-  SANDY FILL MATERIAL
-  LIMESTONE RIP RAP
-  BEDDING STONE

--- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- - - MEAN LOW WATER LINE = +1.29 FT (NAVD 88)

VERTICAL SCALE 1" = 4'
HORIZONTAL SCALE 1" = 4'



5640 CROSS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: +1 813 237 1700
WWW.ESASACC.COM

**HILLSBOROUGH RIVER
LIVING SHORELINE**

PRODUCT NAME

REVISEMENTS

#	DATE	DESCRIPTION

DESIGNED LC
DRAWN LC
CHECKED CAR
IN CHARGE BDF
FL 70856

PROJECT NUMBER 022304567

ISSUE DATE 03/06/2024

SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27" x 42")

1" = 4'

PHASE

100% PLANSET

SHEET TITLE

CROSS SECTIONS (3)

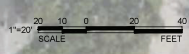
SHEET NUMBER

C-8

SHEET 10 OF 11

LEGEND:

- SPARTINA ALTERNIFLORA
- SPARTINA BAKERI
- PASPALUM VAGINATUM



5640 CROSS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: +1(813)257-1700
WWW.ESASACC.COM

PRODUCT NAME
**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED	LC
DRAWN	LC
CHECKED	CAR
IN CHARGE	BDP FL 70856

PROJECT NUMBER: 0223045421
ISSUE DATE: 03/06/2024

SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")
1" = 40'

PHASE: 100% PLANSET

SHEET TITLE
PLANTING PLAN

SHEET NUMBER
P-1

SHEET 11 OF 11

**EPC
PERMIT**

A-12 LMC

EXHIBIT

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Replaces Page Received: Nov. 16, 2023

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March 7, 2024
EPC of H.C.
WETLANDS

FILE: P:\GIS\2023\04\02\20230402\02\1 - Hillsborough River Living Shoreline Planting Plan (Plot Date: 3/6/2024) 1:25000 PLOT DATE: 3/6/2024 PLOT DATE: 3/6/2024 PLOT DATE: 3/6/2024

78274

From: noreply@fs2.formsite.com on behalf of epcinfo@epchc.org
To: [Castillo, Laura](#)
Subject: MWP09 - Minor Work Permit Application Result #14737395
Date: Tuesday, November 21, 2023 4:30:31 PM

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	bflynn@esassoc.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	<p>The property is currently a rip rap and broken concrete shoreline with open view to the Hillsborough River. This project proposes to enhance the existing shoreline by installing riprap along approximately 80 linear feet of the shoreline. This structure is designed to act as a wave break, dissipating wave energy which will protect the shoreline and provide estuarine habitat. The limestone rip rap will be placed within 10 feet of the mean high water line, sandy fill will be placed behind the rip rap and the shoreline will be planted with native estuarine species. This property will be part of four private properties that are proposing to create a living shoreline that is approximately 500 feet long. The intent of this project is to construct a nature-based, living shoreline feature to protect the existing shoreline from wind waves and boat wakes, increasing resiliency, while creating habitat for estuarine species.</p>
Item #146	Request to be present at site inspection.
Owner First Name	Erich
Owner Last Name	McCartney
Company Name & Title (if applicable)	Managing Member <u>of Zorb LLC *</u>

Mailing Address	701 S. Howard Ave, Suite 106-149
City	Tampa
State	FL
Zip Code	33606
Owner Telephone Number(s)	813-207-7216
Email Address	erich.mccartney@gmail.com
Are you using an agent?	Yes
Item #148	Request to be present at site inspection.
Agent First Name	Bryan
Agent Last Name	Flynn
Company Name (if applicable)	Environmental Science Associates
Street Address	5404 Cypress Center Drive Suite 125
City	Tampa
State	FL
Zip Code	33609
Telephone Number(s)	813-207-7216
Email Address	bflynn@esassoc.com
Site Street Address	2203 North Riverside Drive.
City	Tampa
State	FL
Zip Code	33602
Folio Numbers(s) of Site	183543-0100
Parcel ID:	

Section	
Required	14
Township	
Required	29S
Range	
Required	18E
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Port of Tampa
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	New Work
2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)	Other Shoreline Stabilization
Item #237	
Length of Shoreline at Site (in linear feet)	

(if applicable)	81
Length of Work Proposed Along Shoreline (in linear feet)	
(if applicable)	81
Seawall Vertical Height (in feet)	
(if applicable)	0
Rip-Rap Slope - Horizontal Distance (in feet)	
(if applicable)	<u>10 *</u>
Rip-Rap Slope - Vertical Height (in feet)	
(if applicable)	<u>4 *</u>
Type of Material	
(if applicable)	Limestone rip-rap
Dredged Volume (in cubic feet)	
(if applicable)	0
Filled Volume (in cubic feet)	
(if applicable)	650
C. Filling	Check if Filling
1) Volume	
Volume - Above OHW/MHW	
(required)	32
Volume - Below OHW/MHW	
(required)	24
Volume - Total (in cubic yards)	
(required)	56

2) Area

Area - Above OHW/MHW

(required) 212

Area - Below OHW/MHW

(required) 1041

Area - Total (in square feet)

(required) 1253

3) Containment Other

If Other: Turbidity Curtain

4) Type of Material Rip-rap and clean sand.

5) Source of Material Off-site

If Off-site: Upland mine.

To Begin On: 01/01/2024

To Be Completed By: 04/30/2024

Enter any additional remarks for the project. This property will be part of four private properties that are proposing to create a living shoreline that is approximately 500 feet long.

Public Interest Comment Box: Project will not impact navigation. It will stop sediment transport from erosion of the shoreline, and it will add essential fish habitat (EFH).

1st Adjacent Property Owner Name(s) Chao and Xue Yun Lin *

Mailing Address 2208 * North Riverside Drive.

City Tampa

State FL

Zip Code 33602



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. A. 4. Minor Work Permit No. 78290 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

March 14, 2024

Confidential property owner (Sent via email)
701 S. Howard STE 106 - 149
Tampa, FL 33606

Permittee:	CONFIDENTIAL PROPERTY OWNER
Permit Number:	78290
Type of Permit:	INTENT TO ISSUE MINOR WORK PERMIT FOR THE INSTALLATION OF RIP-RAP AND NATIVE WETLAND PLANTINGS WITH REGRADING FOR SHORELINE STABILIZATION
Project Address:	PROPERTY SOUTHEAST OF 2208 N. RIVERSIDE DRIVE, TAMPA, FL 33602
Issuance Date:	APRIL 8, 2024
Expiration Date:	APRIL 8, 2027

Dear Property owner:

This Intent to Issue the Minor Work Permit (Permit) for the installation of rip-rap and native plantings with regrading for shoreline stabilization is issued to confidential property owner (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until April 8, 2024.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to

submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink that reads "M. Lynch for". The signature is written in a cursive, flowing style.

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcso.com
Brenda Greenwald - greenwaldb@hcpafl.org
Bryan Flynn - Environmental Science Associates - bflynn@esassoc.com
Thomas Ries - Ecosphere Restoration Institute, Inc. - tries@ecosphererestoration.org
City of Tampa - Construction Services Department - dave.jennings@tampagov.net
City of Tampa - Real Estate Department - Monica.Ammann@tampagov.net -
John.Archer@tampagov.net
Shawn College - colleges@plancom.org
Michael Fout - fout.michael@gmail.com

cc: Chao and Xue Yun Lin



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 78290

PERMITTEE: CONFIDENTIAL PROPERTY OWNER
701 S. HOWARD STE 106 - 149
TAMPA, FL 33606

AGENT: ENVIRONMENTAL SCIENCE ASSOCIATES
BRYAN FLYNN
5404 CYPRESS CENTER DRIVE, SUITE 125
TAMPA, FL 33609

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 86 LINEAR FEET OF RIP-RAP AND THE STABILIZATION OF APPROXIMATELY 60 FEET OF SHORELINE WITH NATIVE WETLAND PLANTINGS PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: PROPERTY SOUTHEAST OF 2208 N. RIVERSIDE DRIVE, TAMPA, FL 33602 / HILLSBOROUGH RIVER

DATE OF ISSUE: APRIL 8, 2024

EXPIRATION DATE: APRIL 8, 2027

THIS PERMIT CARD SHALL BE PROMINENTLY DISPLAYED AT THE WORKSITE. FOR QUESTIONS CALL THE WETLANDS DIVISION (813) 627-2600.

ENVIRONMENTAL PROTECTION COMMISSION
MINOR WORK PERMIT No. - 78290
SPECIFIC CONDITIONS
April 8, 2024

1. This Permit authorizes the installation of approximately 86 linear feet of rip-rap and stabilization of approximately 60 linear feet of shoreline with native wetland plantings.
2. This Permit does not authorize the filling of wetlands other than the placement of rip-rap and the placement of sandy fill for the native estuarine planting zone as shown on the EPC approved Permit exhibits.
3. This Permit does not authorize the placement of pilings or any other structures extraneous to the installation of the rip-rap revetment.
4. Be advised, if the proposed activity approved by this Permit is altered, a modification to this Permit with applicable application and fee may be required. Modifications include, but are not limited to, changes to the footprint of the proposed activity or adding structures such as: floating vessel platforms, floating docks, roofs, canopy covers, personal watercraft (PWC) lifts, etc. Modifications require review by EPC.
5. **The enclosed Permit Card shall be conspicuously displayed at the project site once work on this project has been initiated and shall remain so displayed until the project has been completed. Within fifteen (15) days of completion of this project, EPC is to be notified via email wetlandscompliance@epchc.org.**

RIP-RAP CONSTRUCTION SPECIFIC CONDITIONS

1. The structure shall be constructed as depicted per EPC approved Permit exhibits A-1 through A-12. **The dock structure depicted in the Permit exhibits is for illustration purposes only and is not approved as part of this Permit.**
2. The rip-rap shall be placed within the property limits as depicted per EPC approved Permit exhibits A-1, A-4, A-5, and A-6.
3. During the installation of the rip-rap material, a floating turbidity curtain and/or silt fence shall be deployed waterward of the work site and attached from adjacent shoreline to adjacent shoreline. The turbidity curtain/silt fence must remain in place until the work has ceased and any resultant construction-related turbidity has settled out. These measures should be removed as soon as water quality returns to sustainable background levels and/or all areas of disturbed soils are stabilized.
4. This Permit does not authorize the rip-rap installation to cover or obstruct any existing storm water outfall pipes.
5. The slope of the rip-rap revetment, in feet, will not exceed one (1) vertical to two (2) horizontal as depicted per EPC approved exhibit A-9.
6. The horizontal distance from the approximate mean high water line must be no more than 10 feet as depicted per EPC approved exhibits A-6 and A-9.
7. The rip-rap material shall consist entirely of clean concrete rubble or natural boulders one (1) foot to three (3) feet in average diameter as described per Construction Note #5 of the EPC

approved Permit exhibit A-3. No reinforcing rods or other similar protrusions in concrete rubble shall be exposed and the rip-rap material shall be free of attached sediments. The use of asphalt or other organic materials is prohibited.

8. Filter fabric shall be placed as described per Construction Note #9 of the EPC approved Permit exhibit A-3.
9. The rip-rap material shall remain unconsolidated.
10. This Permit does not authorize any dredging activity.
11. All wetland vegetation, including but not limited to mangroves, must be preserved during all construction authorized under this Permit. No mangrove removal is allowed. Further, no impacts to existing submerged aquatic vegetation, coral communities or oyster beds shall occur under this Permit.

PLANTING SPECIFIC CONDITIONS

12. Only the native, non-nuisance, vegetation listed in EPC approved permit exhibits A-9 through A-12 may be planted.
13. At a minimum, plants shall be spaced on two (2) foot centers
14. The applicant is responsible for removing non-native, nuisance vegetation from the native shoreline area.
15. Re-grading shall be limited to the amount necessary to correct the erosion and provide an adequate slope for plant recruitment and vegetation.

U.S. ARMY CORPS OF ENGINEERS SPGP DETERMINATION

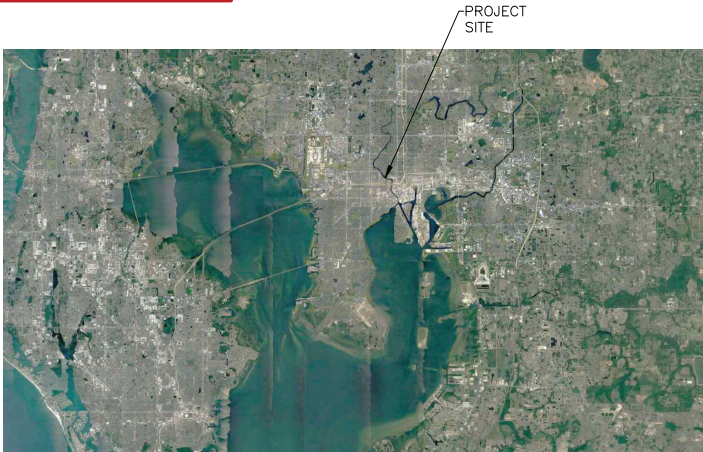
Your proposed activity as outlined on your application and attached drawings does not qualify for Federal authorization pursuant to the State Programmatic General Permit and a SEPARATE permit or authorization shall be required from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345 or ENG FORM 6082, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at:

<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

**HILLSBOROUGH RIVER LIVING SHORELINE PROJECT
FOR: REED, FOUT & MCCARTNEY PRIVATE RESIDENCES
BY: ENVIRONMENTAL SCIENCE ASSOCIATES**

**EPC
PERMIT**
A-2 LMC
EXHIBIT

MARCH 6, 2024



Sheet List Table		
Sequence Number	Sheet Number	Sheet Title
1	G-1	COVER
2	G-2	GENERAL NOTES
3	C-1	PLAN OVERVIEW
4	C-2	PLAN VIEW - EXISTING
5	C-3	PLAN VIEW - PROPOSED (1)
6	C-4	PLAN VIEW - PROPOSED (2)
7	C-5	PLAN VIEW - PROPOSED (3)
8	C-6	CROSS SECTIONS (1)
9	C-7	CROSS SECTIONS (2)
10	C-8	CROSS SECTIONS (3)
11	P-1	PLANTING PLAN

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March 7, 2024
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WETLANDS

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**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
DRAWN LC
CHECKED CAR
IN CHARGE BDF
FL 70856

PROJECT NUMBER: 0223045621
ISSUE DATE: 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x36")
1" = 1'

PHASE: 100% PLANSET

SHEET TITLE: COVER

SHEET NUMBER: **G-1**

SHEET 1 OF 11



EPC PERMIT
A-4 LMC
EXHIBIT



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SUITE 125
TAMPA, FL 33609
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WWW.ESASASCC.COM

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PRODUCT NAME
**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION
DESIGNED	LC	
DRAWN	LC	
CHECKED	CAR	
IN CHARGE	BDP	
	FL 70856	
PROJECT NUMBER	0023040427	
ISSUE DATE	03/06/2024	
SCALE	AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")	
	1" = 1'	
PHASE	100% PLANSET	
SHEET TITLE		
SHEET NUMBER	C-1	
SHEET 3 OF 11		

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ESA
5840 CROSS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: 813.255.1700
WWW.ESASACC.COM

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Bryan D Flynn
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05:24:21
-05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
DRAWN LC
CHECKED OAR
IN CHARGE BDP
FL 70856

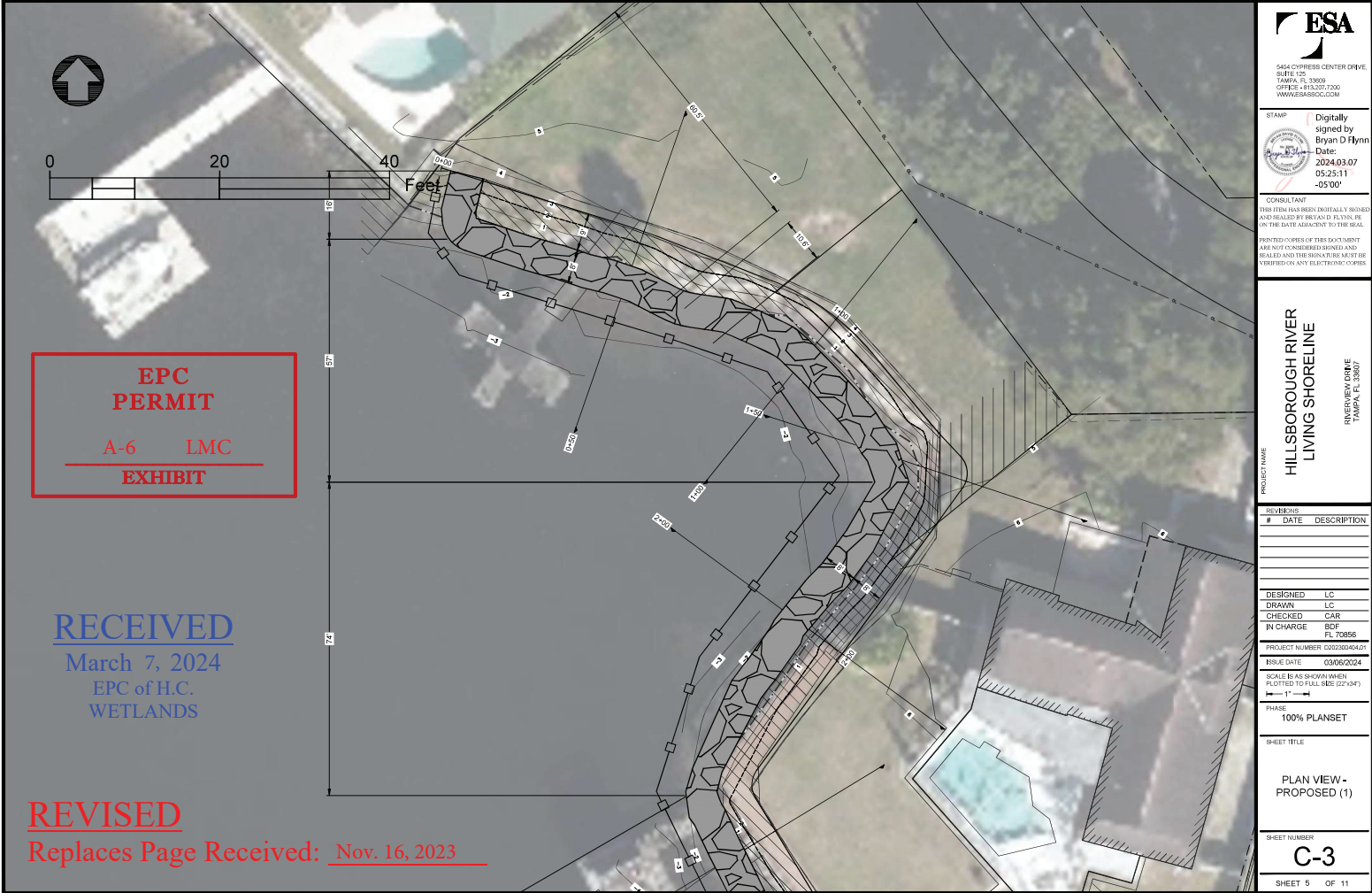
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ISSUE DATE 03/06/2024
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PLOTTED TO FULL SIZE (27"x36")
1" = 1'

PHASE
100% PLANSET

SHEET TITLE
PLAN VIEW -
EXISTING

SHEET NUMBER
C-2

SHEET 4 OF 11



ESA
 5640 CYPRESS CENTER DRIVE
 SUITE 125
 TAMPA, FL 33609
 OFFICE: +813.257.7300
 WWW.ESASACC.COM

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 Bryan D Flynn
 Date: 2024.03.07 05:25:11 -05'00'

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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

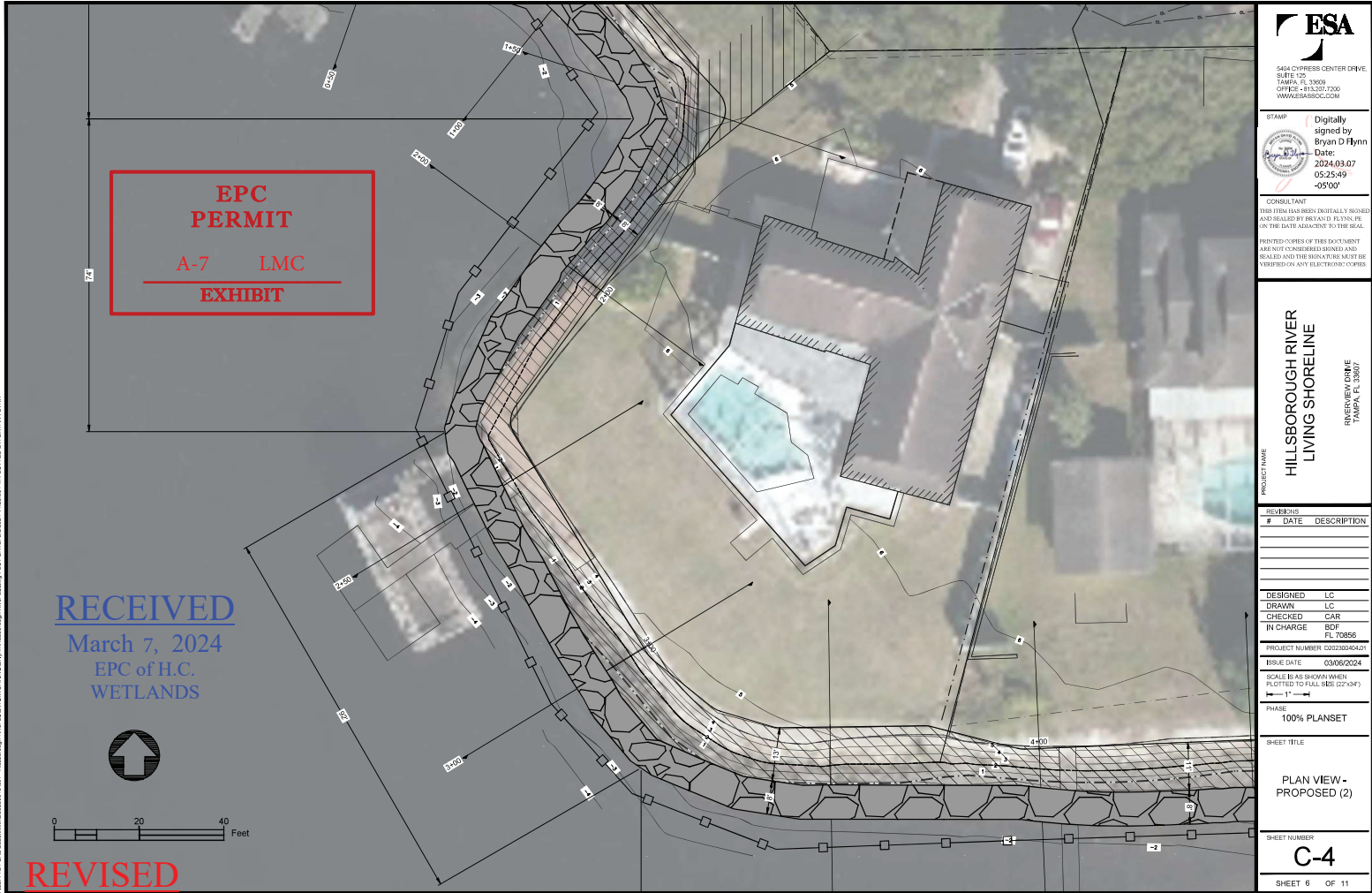
DESIGNED LC
 DRAWN LC
 CHECKED OAR
 IN CHARGE BDF FL 70856

PROJECT NUMBER 022304021
 ISSUE DATE 03/06/2024
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 1" = 100'
 PHASE
 100% PLANSET

SHEET TITLE
 PLAN VIEW - PROPOSED (1)

SHEET NUMBER
C-3
 SHEET 5 OF 11

78290



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PRODUCT NAME
**HILLSBOROUGH RIVER
 LIVING SHORELINE**
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
 DRAWN LC
 CHECKED OAR
 IN CHARGE BDF
 FL 70856

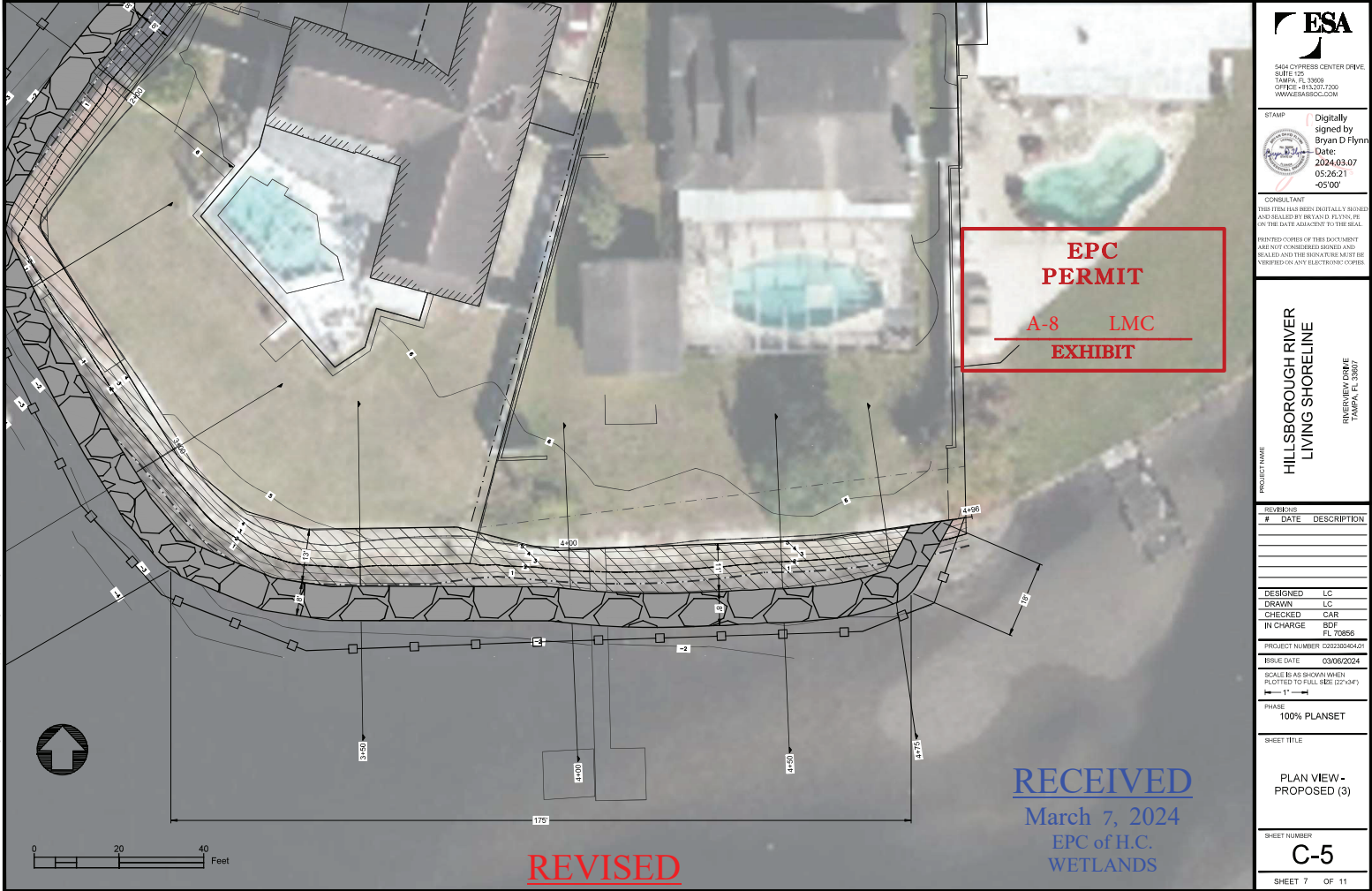
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 ISSUE DATE 03/06/2024
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 1" = 1'

PHASE
100% PLANSET

SHEET TITLE
**PLAN VIEW -
 PROPOSED (2)**

SHEET NUMBER
C-4
 SHEET 6 OF 11

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A-8 LMC EXHIBIT

PRODUCT NAME
HILLSBOROUGH RIVER LIVING SHORELINE
 RIVERVIEW DRIVE
 TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
 DRAWN LC
 CHECKED CAR
 IN CHARGE BDF
 FL 70856

PROJECT NUMBER 0223045421

ISSUE DATE 03/06/2024

SCALE AS SHOWN WHEN PLOTTED TO FULL SIZE (27"X36")

1" = 1'

PHASE 100% PLANSET

SHEET TITLE

PLAN VIEW - PROPOSED (3)

SHEET NUMBER

C-5

SHEET 7 OF 11

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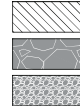
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78290

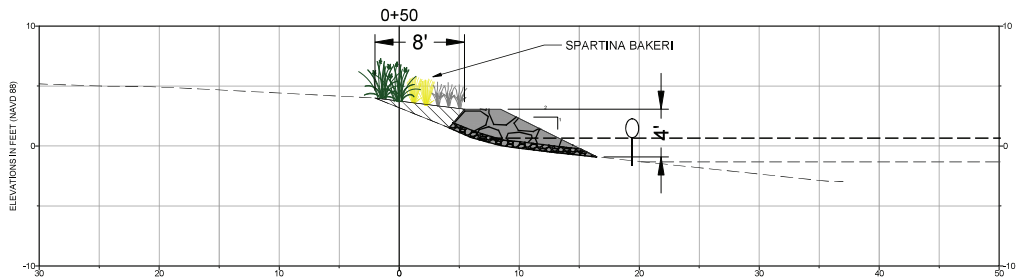
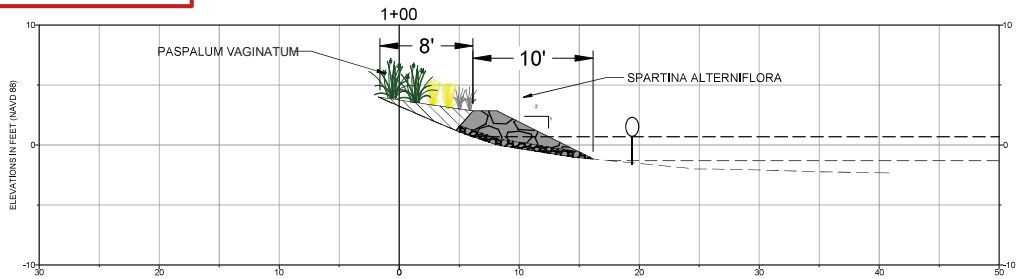
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A-9 LMC

EXHIBIT



SANDY FILL MATERIAL
LIMESTONE RIP RAP
BEDDING STONE



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VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE 1" = 4'

----- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- · - · - MEAN LOW WATER LINE = -1.29 FT (NAVD 88)

PRODUCT NAME
**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
DRAWN LC
CHECKED CAR
IN CHARGE BDP
FL 70856

PROJECT NUMBER 0223045421
ISSUE DATE 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27" X 42")
1" = 4'

PHASE
100% PLANSET

SHEET TITLE
CROSS SECTIONS (1)

SHEET NUMBER
C-6
SHEET 8 OF 11




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**A-10 LMC
EXHIBIT**

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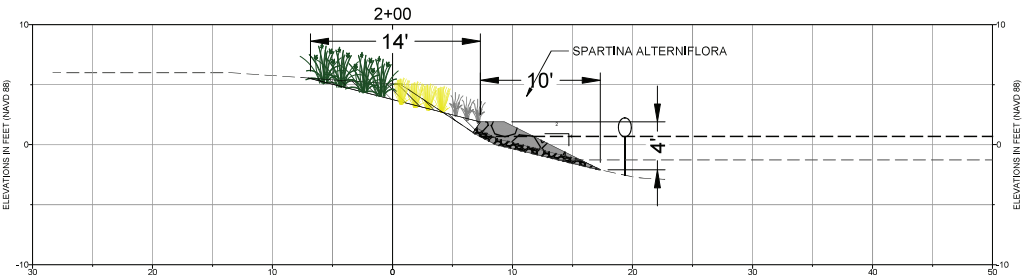
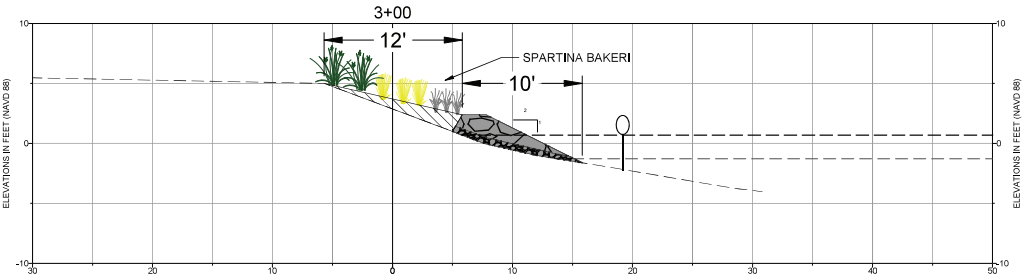
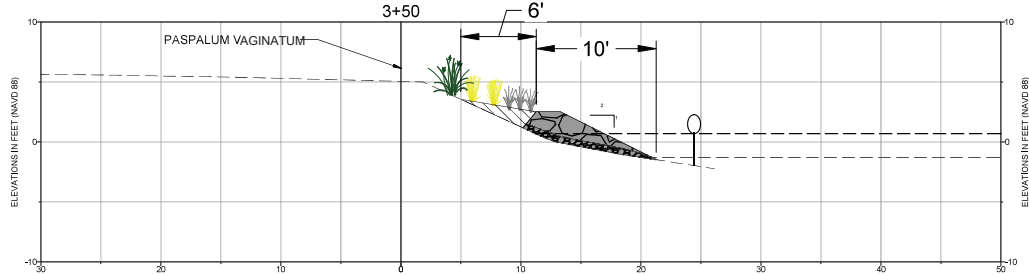
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-  SANDY FILL MATERIAL
-  LIMESTONE RIP RAP
-  BEDDING STONE

--- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- - - MEAN LOW WATER LINE = -1.29 FT (NAVD 88)

VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE: 1" = 4'



5640 CYPRESS CENTER DRIVE
SUITE 125
TAMPA, FL 33609
OFFICE: (813) 257-1700
WWW.ESASCC.COM

**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED: LC
DRAWN: LC
CHECKED: CAR
IN CHARGE: BDP
FL 70856

PROJECT NUMBER: 022304527
ISSUE DATE: 03/06/2024

SCALE: AS SHOWN WHEN
PLOTTED TO FULL SIZE (27"X42")
1" = 4'

PHASE: 100% PLANSET

SHEET TITLE: CROSS SECTIONS (2)

SHEET NUMBER: C-7

SHEET 9 OF 11

EPC PERMIT

A-11 LMC EXHIBIT

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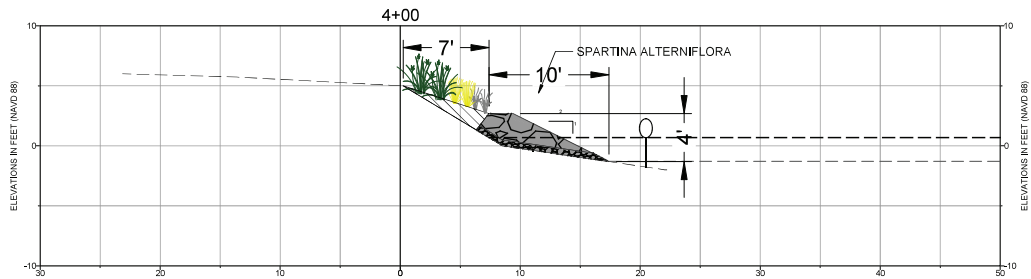
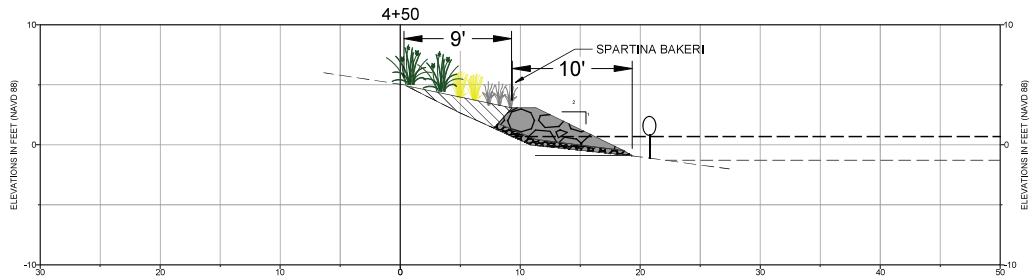
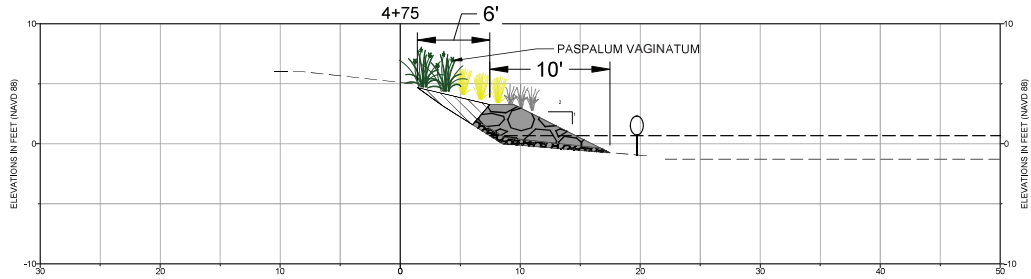
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-  SANDY FILL MATERIAL
-  LIMESTONE RIP RAP
-  BEDDING STONE

--- MEAN HIGH WATER LINE = +0.69 FT (NAVD 88)
- - - MEAN LOW WATER LINE = +1.29 FT (NAVD 88)

VERTICAL SCALE 1" = 4'
HORIZONTAL SCALE 1" = 4'



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SUITE 125
TAMPA, FL 33609
OFFICE: +1 813 337 1700
WWW.ESASACC.COM

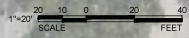
**HILLSBOROUGH RIVER
LIVING SHORELINE**

RIVERVIEW DRIVE
TAMPA, FL 33607

REVISIONS	
#	DATE DESCRIPTION
DESIGNED	LC
DRAWN	LC
CHECKED	CAR
IN CHARGE	BDP FL 70856
PROJECT NUMBER	0223045621
ISSUE DATE	03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"x42")	
PHASE	100% PLANSET
SHEET TITLE	CROSS SECTIONS (3)
SHEET NUMBER	C-8
SHEET 10 OF 11	

LEGEND:

- SPARTINA ALTERNIFLORA
- SPARTINA BAKERI
- PASPALUM VAGINATUM



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SUITE 125
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PRODUCT NAME
**HILLSBOROUGH RIVER
LIVING SHORELINE**
RIVERVIEW DRIVE
TAMPA, FL 33607

#	DATE	DESCRIPTION

DESIGNED LC
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IN CHARGE BDP
FL 70856

PROJECT NUMBER 0323045421
ISSUE DATE 03/06/2024
SCALE: AS SHOWN WHEN PLOTTED TO FULL SIZE (27"X41")
1" = 1'

PHASE
100% PLANSET

SHEET TITLE
PLANTING PLAN

SHEET NUMBER
P-1
SHEET 11 OF 11

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FILE: E:\PROJECTS\2024\03\0323045421\HILLSBOROUGH RIVER LIVING SHORELINE PLANTING PLAN\SET DATE: 3/6/2024 11:28:49 AM PLOTTED BY: BRIAN FLYNN

From: noreply@fs2.formsite.com on behalf of [epcinfo at epchc.org](mailto:epcinfo@epchc.org)
To: [Castillo, Laura](#)
Subject: MWP09 - Minor Work Permit Application Result #14737533
Date: Tuesday, November 21, 2023 5:33:03 PM

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	bflynn@esassoc.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	<p>The property is currently a rip rap and broken concrete shoreline with open view to the Hillsborough River. This project proposes to enhance the existing shoreline by installing riprap along approximately 85 linear feet of the shoreline. This structure is designed to act as a wave break, dissipating wave energy which will protect the shoreline and provide estuarine habitat. The limestone rip rap will be placed within 10 feet of the mean high water line, sandy fill will be placed behind the rip rap and the shoreline will be planted with native estuarine species. This property will be part of four private properties that are proposing to create a living shoreline that is approximately 500 feet long. The intent of this project is to construct a nature-based, living shoreline feature to protect the existing shoreline from wind waves and boat wakes, increasing resiliency, while creating habitat for estuarine species.</p>
Item #146	Request to be present at site inspection.
Owner First Name	<u>Confidential owner per Property Appraiser public records *</u>
Owner Last Name	
Company Name & Title (if applicable)	

Mailing Address**City****State****Zip Code****Owner Telephone
Number(s)****Email Address****Are you using an agent?** Yes**Item #148** Request to be present at site inspection.**Agent First Name** Bryan**Agent Last Name** Flynn**Company Name (if
applicable)** Environmental Science Associates**Street Address** 5404 Cypress Center Drive Suite 125**City** Tampa**State** FL**Zip Code** 33609**Telephone Number(s)** 813-207-7216**Email Address** bflynn@esassoc.com**Site Street Address** Property southeast adjacent of 2208 N. Riverside Drive ***City** Tampa**State** FL**Zip Code** 33602**Folio Numbers(s) of Site****Parcel ID:**

78290

Section	
Required	14
Township	
Required	29S
Range	
Required	18E
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Port of Tampa
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	<ul style="list-style-type: none"> • New Work • Maintenance / Replacement
1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes)	Dock <u>Dock is not a part of this permit application *</u>
Item #232	
Length of Shoreline (in linear feet)	

(if applicable)	
Number of Proposed Docks	
(if applicable)	
Number of Boat Slips / Lifts	
(if applicable)	
Length from OHW/MHW to Waterward Edge of Structure (in feet)	
(if applicable)	
Width of Structure (in feet)	
(if applicable)	
Mooring Water Depth at O/MLW (in feet)	
(if applicable)	
Existing Structure Area (in square feet)	
(if applicable)	
Proposed Structure Area (in square feet)	
(if applicable)	
Overall Area of Facility (in square feet)	
(if applicable)	
2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)	Other Shoreline Stabilization
Item #237	
Length of Shoreline at Site (in linear feet)	
(if applicable)	87

Length of Work Proposed Along Shoreline (in linear feet)	
(if applicable)	87
Seawall Vertical Height (in feet)	
(if applicable)	0
Rip-Rap Slope - Horizontal Distance (in feet)	
(if applicable)	3
Rip-Rap Slope - Vertical Height (in feet)	
(if applicable)	1
Type of Material	
(if applicable)	Limestone rip-rap
Dredged Volume (in cubic feet)	
(if applicable)	0
Filled Volume (in cubic feet)	
(if applicable)	1350
3) Other Type of Structure	Other
explain	Living shoreline.
C. Filling	Check if Filling
1) Volume	
Volume - Above OHW/MHW	
(required)	68
Volume - Below OHW/MHW	
(required)	50
Volume - Total (in cubic yards)	

(required)	118
2) Area	
Area - Above OHW/MHW	
(required)	225
Area - Below OHW/MHW	
(required)	1055
Area - Total (in square feet)	
(required)	1280
3) Containment	Other
If Other:	Turbidity Curtain
4) Type of Material	Rip-rap and clean sand.
5) Source of Material	Off-site
If Off-site:	Upland mine.
To Begin On:	01/01/2024
To Be Completed By:	04/30/2024
Enter any additional remarks for the project.	This property will be part of four private properties that are proposing to create a living shoreline that is approximately 500 feet long.
Public Interest Comment Box:	Project will not impact navigation. It will stop sediment transport from erosion of the shoreline, and it will add essential fish habitat (EFH).
1st Adjacent Property Owner Name(s)	Chao Lin, Xue Yun Lin
Mailing Address	2208 North Riverside Drive
City	Tampa
State	FL



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. A. 5. Minor Work Permit No. 78775 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

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Harry Cohen VICE-CHAIR
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Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

March 14, 2024

Ronald Revak (Sent via email)
arevak@gmail.com
804 E Hollywood Street
Tampa, FL 33604

Permittee:	RONALD REVAK
Permit Number:	78755
Type of Permit:	INTENT TO ISSUE MINOR WORK PERMIT FOR THE ADDITION OF ONE NON-COVERED BOAT LIFT ONTO THE EXISTING DOCK
Project Address:	804 E HOLLYWOOD STREET, TAMPA, FL 33604
Issuance Date:	APRIL 8, 2024
Expiration Date:	APRIL 8, 2027

Dear Mr. Revak:

This Intent to Issue the Minor Work Permit (Permit) for the addition of one non-covered boat lift onto the existing dock is issued to Ronald Revak (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until April 8, 2024.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit

Environmental Excellence in a Changing World

Environmental Protection Commission - Roger P. Stewart Center
3629 Queen Palm Drive, Tampa, FL 33619 - (813) 627-2600 - www.epchc.org

addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink that reads "Michael Lynch". The signature is written in a cursive style with a large initial "M" and "L".

Michael Lynch - Division Director
EPC Wetlands Division

TG / MPG

Enclosures

ec:

Corporal Marc Wilder - mwilder@teamhcsso.com

Brenda Greenwald - greenwaldb@hcpafl.org

Robert Barron - spgp@usace.army.mil

Hecker Construction Company, Inc. - Scott Kane - scott.heckerconstruction@gmail.com

City of Tampa - Construction Services Department - dave.jennings@tampagov.net

cc: Alicia Drees

Helen Greulich

Hillsborough River Board

City of Tampa Real Estate Department



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 78755

PERMITTEE: RONALD REVAK
804 E HOLLYWOOD STREET
TAMPA, FL 33604

AGENT: HECKER CONSTRUCTION COMPANY, INC.
SCOTT KANE
P.O. BOX 989
RUSKIN, FL 33575

PROJECT DESCRIPTION: ADDITION OF ONE NON-COVERED BOAT LIFT
ONTO THE EXISTING DOCK PURSUANT TO
PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: 804 E HOLLYWOOD STREET, TAMPA, FL 33604 /
HILLSBOROUGH RIVER

DATE OF ISSUE: APRIL 8, 2024

EXPIRATION DATE: APRIL 8, 2027

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

ENVIRONMENTAL PROTECTION COMMISSION
MINOR WORK PERMIT No. - 78755
SPECIFIC CONDITIONS
April 8, 2024

1. This Permit authorizes the addition of one non-covered boat lift onto the existing dock.
2. Be advised, if the proposed activity approved by this Permit is altered, a modification to this Permit with applicable application and fee may be required. Modifications include, but are not limited to, changes to the footprint of the proposed activity or adding structures such as: floating vessel platforms, floating docks, roofs, canopy covers, personal watercraft (PWC) lifts, etc. Modifications require review by EPC.
3. **The enclosed Permit Card shall be conspicuously displayed at the project site once work on this project has been initiated and shall remain so displayed until the project has been completed. Within fifteen (15) days of completion of this project, EPC is to be notified via email wetlandscompliance@epchc.org.**

DOCK CONSTRUCTION SPECIFIC CONDITIONS

4. The structure shall be constructed as depicted per EPC approved Permit exhibits A-1, A-2 and A-3.
5. The structure shall be placed within the property limits as depicted per EPC approved Permit exhibit A-1.
6. The proposed docking facility shall be used to moor no more than two vessels and shall not create a navigational hazard.
7. Removal of the existing dock must be accomplished in a manner so that all debris is properly disposed of and the release of turbid water offsite is prevented.
8. No roof or sundeck is permitted for this structure under this Permit.
9. Be advised, under current TPA Submerged Lands Management Rules the ability to add a roof or sundeck may be limited in the future.
10. Be advised the configuration of the proposed marginal structure may limit the ability to add a boat lift or clear a swim access area.
11. The water depths in mooring areas shall be no less than two (2) feet at Mean Low Water (MLW).
12. No dredging, filling, clearing or scouring shall be allowed except for the settings of pilings for the structure. If pilings are to be installed by jetting, then the water pump must be shut off when not in use to avoid unnecessary disturbance to the water body.
13. All structures shall be marked with reflectors, reflective tape or other materials necessary to make the extent of structures clearly visible to boaters in accordance with the requirements of the United States Coast Guard and the Florida Fish & Wildlife Conservation Commission.
14. Structures shall not be enclosed.
15. This Permit does not authorize the placement of pilings or any other structures extraneous to the dock and boat lift system.

16. This Permit does not authorize the construction of bathhouses, storage shelters, gazebos, screen porches, fish cleaning facilities, living quarters or other non-water dependent structures.
17. No davits are permitted for this structure.
18. The structure shall be constructed a minimum of 1-foot vertical elevation above the Mean High Water (MHW) elevation.
19. In the vicinity of mooring, watercraft associated with the construction of the permitted structure shall operate within the waters of sufficient depth to preclude bottom scouring/prop dredging.
20. All wetland vegetation, including but not limited to mangroves, must be preserved during all construction authorized under this Permit. No mangrove removal is allowed. Further, no impacts to existing submerged aquatic vegetation, coral communities or oyster beds shall occur under this Permit.

U.S. ARMY CORPS OF ENGINEERS SPGP DETERMINATION

Your proposed activity as outlined in your application and attached drawings qualifies for Federal authorization pursuant to the State Programmatic General Permit VI-R1, and a SEPARATE permit or authorization will not be required from the Corps. Please note that the Federal authorization expires on July 27, 2026. However, your authorization may remain in effect for up to 1 additional year, if provisions of Special Condition 15 of the SPGP VI-R1 permit instrument are met. You, as permittee, are required to adhere to all General Conditions and Special Conditions that may apply to your project. Special conditions required for your project are attached. A copy of the SPGP VI-R1 with all terms and conditions and the General Conditions may be found at

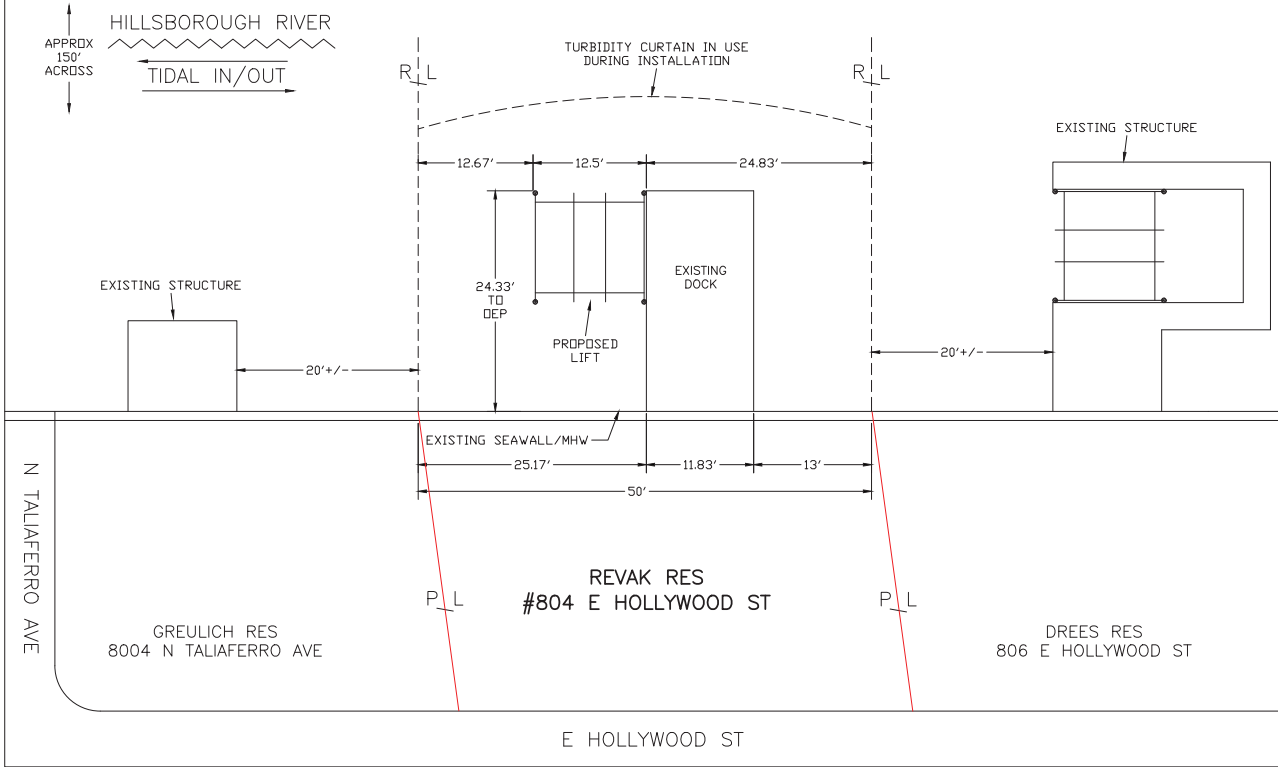
<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

- *NO -MANGROVES
- SEAGRASS
- OYSTERBEDS
- *WESTERN DOCK SECTION TO BE REMOVED TO ACCOMMODATE NEW LIFT


PROPOSED REVAK RES LIFT INSTALLATION

NTS
↑
NORTH

**EPC
PERMIT
A1 - TG
EXHIBIT**



General Notes



**HECKER
CONSTRUCTION**
CONSTRUCTION, INC.

HECKER CONSTRUCTION CO., INC.
P.O. BOX 989
RUSKIN, FL 33575
(813) 236-9306 FAX (813) 236-9358

No.	Revision/Issue	Date

Project Name and Address

PROPOSED REVAK RES
LIFT INSTALLATION
804 E HOLLYWOOD ST
TAMPA, FL 33604

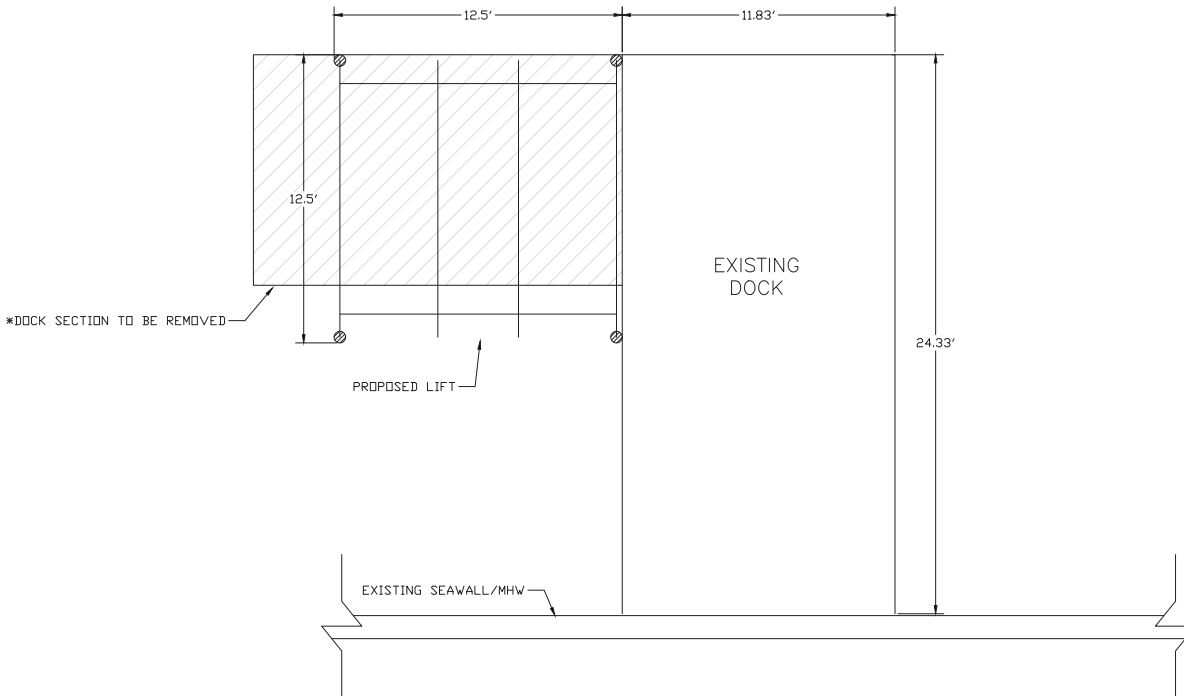
Project	Sheet
SITE PLAN	01
Date	02/21/2024
Scale	NTS

*NO -MANGROVES
 -SEAGRASS
 -OYSTERBEDS
 *WESTERN DOCK SECTION
 TO BE REMOVED TO
 ACCOMMODATE NEW LIFT


PROPOSED REVAK RES LIFT INSTALLATION

NTS

**EPC
 PERMIT
 A2 - TG
 EXHIBIT**



General Notes



HECKER CONSTRUCTION CO., INC.
 P.O. BOX 989
 RUSKIN, FL 33575
 (813) 236-9306 FAX (813) 236-9358

No.	Revision/Issue	Date

Per. Name and Address

Project Name and Address

PROPOSED REVAK RES
 LIFT INSTALLATION
 804 E HOLLYWOOD ST
 TAMPA, FL 33604

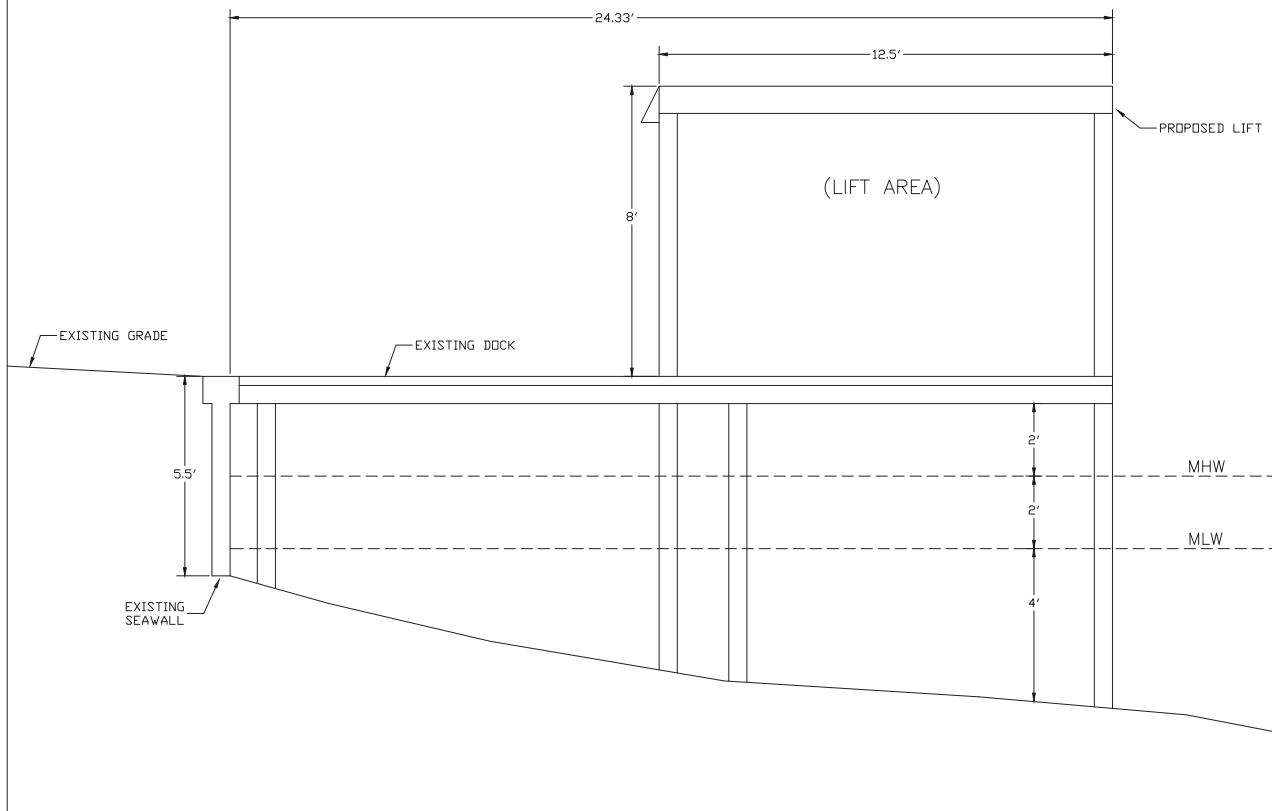
Project	DETAIL DRAWING	Sheet	02
Date	02/21/2024	Scale	
Notes	NTS		

*NO -MANGROVES
 -SEAGRASS
 -OYSTERBEDS
 *WESTERN DOCK SECTION
 TO BE REMOVED TO
 ACCOMMODATE NEW LIFT

PROPOSED REVAK RES LIFT INSTALLATION

NTS

**EPC
 PERMIT
 A3 - TG
 EXHIBIT**



General Notes

HECKER CONSTRUCTION CO., INC.
 P.O. BOX 989
 RUSKIN, FL 33575
 (813) 236-9306 FAX (813) 236-9358

No.	Revision/Issue	Date

Client Name and Address

Project Name and Address

PROPOSED REVAK RES
 LIFT INSTALLATION
 804 E HOLLYWOOD ST
 TAMPA, FL 33604

Project	CROSS SECTION	Sheet	03
Date	02/21/2024	Scale	
Scale	NTS		

From: [Gile, Michael](#)
To: [Garrett, Taylor](#)
Subject: FW: MWP09 - Minor Work Permit Application Result #14934904
Date: Thursday, February 22, 2024 1:53:47 PM

Taylor,

This one will be yours. SQL 78755.

Thank you,
Michael

From: noreply@fs2.formsite.com <noreply@fs2.formsite.com>
Sent: Thursday, February 22, 2024 8:25 AM
To: Gile, Michael <gilem@epchc.org>
Subject: MWP09 - Minor Work Permit Application Result #14934904

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	scott.heckerconstruction@gmail.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Proposed Lift Installation
Owner First Name	RONALD
Owner Last Name	REVAK
Mailing Address	804 E HOLLYWOOD ST
City	Tampa
State	FL
Zip Code	33604

Owner Telephone Number(s)	813-748-6696
Email Address	arevak@gmail.com
Are you using an agent?	Yes
Agent First Name	Scott
Agent Last Name	Kane
Company Name (if applicable)	Hecker Construction Company, Inc.
Street Address	PO Box 989
City	Ruskin
State	FL
Zip Code	33575
Telephone Number(s)	7278714964
Email Address	scott.heckerconstruction@gmail.com
Site Street Address	804 E HOLLYWOOD ST
City	TAMPA
State	FL
Zip Code	33604
Folio Numbers(s) of Site	1610760000
Parcel ID:	
Section	
Required	25
Township	
Required	28

Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	CITY OF TAMPA
1st Permit Number	N/A
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	Addition / Modification
1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes)	Dock
Item #232	
Length of Shoreline (in linear feet)	
(if applicable)	50
Number of Proposed Docks	
(if applicable)	1
Number of Boat Slips / Lifts	
(if applicable)	0/1
Length from OHW/MHW to Waterward Edge of Structure (in feet)	
(if applicable)	24.33

Width of Structure (in feet)	
(if applicable)	24.33
Mooring Water Depth at O/MLW (in feet)	
(if applicable)	4
Existing Structure Area (in square feet)	
(if applicable)	448
Proposed Structure Area (in square feet)	
(if applicable)	444
Overall Area of Facility (in square feet)	
(if applicable)	444
To Begin On:	04/08/2024
To Be Completed By:	04/22/2024
Public Interest Comment Box:	The project does not negatively affect the public interest and has been located to reduce any impact to existing resources.
1st Adjacent Property Owner Name(s)	DREES ALICIA
Mailing Address	6307 JULIE ST
City	TAMPA
State	FL
Zip Code	33610
2nd Adjacent Owner	GREULICH HELEN A
Mailing Address	8004 N TALIAFERRO AVE
City	Tampa



Project Design Criteria Checklist for the U.S. Army Corps of Engineers Jacksonville District's Programmatic Biological Opinion

Summary Checklist (Must be submitted with all projects)

Permitting Agency's Internal Use Only:

Form section for internal use including fields for Date checklist sent to NMFS, Reviewer Last Name, Application #, Checklist Version, and various checkboxes for re-verification and review confirmation.

Form section for project location details including Project Street Address (804 E HOLLYWOOD ST), City (Tampa), County (Hillsborough), Latitude (28.020278383905552), Longitude (-82.45303084511623), and Municipality (Hillsborough).

Select all activities used for the entire proposed project:

Row of checkboxes numbered 1 through 10, with checkbox 2 checked, and a checkbox for 'Superseding Process'.

Table with 5 columns: Geographic Area, Is the project located in the geographic area?, Select DCH Unit, Are Essential Features Present?, and If Essential Features are present, enter area of impact. Rows include various DCH units like Smalltooth Sawfish, Gulf Sturgeon, Atlantic Sturgeon, etc.

Is the Project in or near areas with mangroves, seagrasses, corals, or hard bottom habitat? Does it comply with PDCs for Mangroves, Seagrasses, Corals, and Hard Bottom for All Projects (AP.3)

Table with 3 columns: Resource, Present in the project footprint?, and Square Feet of Impact. Resources include Mangroves, Nonlisted Seagrass, Johnson's Seagrass, Listed Corals, Nonlisted Corals, and Hardbottom.

Form section for impact calculations: SF of Overwater Impacts (156.25) and SF of Total In-water Impacts (0.79).

Form section with checkboxes for compliance: Applicant agrees to adhere to PDCs, Applicant agrees to perform all activities during daylight hours, Is the project within the boundary of the Florida Keys National Marine Sanctuary?, and If within the boundaries of FKNMS, received NOAA authorization?

To be completed by applicant or agent if permit is issued by a delegated authority (FDEP, Miami-Dade, etc.) Please enter full name of applicant or applicant's representative:

Form section with the name 'Hecker Construction' and a statement: 'The applicant or applicant's representative ensures the project complies with the PDCs and all information in this form and individual checklist(s) is correct'.

Comments section with a large empty box for text entry.

1 Checklist Version: Select 1 if it is the first time you are submitting the consultation. Select 2 if you made an error or the project has changed and you need to resubmit the checklist. 2 The project may be located in two different Loggerhead DCH Units. Select all that apply. If there are more than two, please add to the Comments section.



Project Design Criteria Checklist for the U.S. Army Corps of Engineers Jacksonville District's Programmatic Biological Opinion (JAXBO)

Activity 2: Pile Supported

Agency internal use:			
<input type="text"/>	Date checklist sent to NMFS (MM/DD/YY)	<input type="text"/>	PM Last Name
<input type="text"/>		<input type="text"/>	Application #
<input type="text"/>		<input type="text"/>	Checklist Version

Proposed Activity (Select all that apply):

- Dock New
- Dock Repair
- Dock Replacement
- Mooring/Dolphin piles
- Mooring buoys
- Mooring fields
- Chickees
- ATONS/PATONS
- Boatlift
- Temporary structures/buoys
- Other (Provide description in Comments box at bottom)

Single-family Select the type/use of the structure

Enter information about the proposed activity:

<input type="text"/> 0	Total number of existing dry slips	<input type="text"/> 0	Total number of existing wet slips
<input type="text"/> 0	Total number of proposed dry slips	<input type="text"/> 1	Total number of proposed wet slips

Piling Installation Data: Enter data as appropriate for different pile types used. JAXBO does not cover installation of metal piles or sheet piles with impact hammer (AP 2; Section 2.2).

<input type="text"/> NA	Pile Type 1	<input type="text"/> NA	Pile Type 2	<input type="text"/> NA	Pile Type 3	<input type="text"/> NA	Pile Type 4
<input type="text"/> 4	Number of Piles	<input type="text"/>	Number of Piles	<input type="text"/>	Number of Piles	<input type="text"/>	Number of Piles
<input type="text"/> 0	Size of each Pile (sq.ft.)	<input type="text"/>	Size of each Pile (sq.ft.)	<input type="text"/>	Size of each Pile (sq.ft.)	<input type="text"/>	Size of each Pile (sq.ft.)
<input type="text"/> Wood	Pile Material	<input type="text"/>	Pile Material	<input type="text"/>	Pile Material	<input type="text"/>	Pile Material
<input type="text"/> Jetting	Installation Method	<input type="text"/>	Installation Method	<input type="text"/>	Installation Method	<input type="text"/>	Installation Method

Confined-Space Project in Open-Water or Confined-Space Environment (AP.2; Section 2.2)?

A Select Noise PDC Category (AP.2.) as detailed in (Section 2.2).

For commercial/multi-family/public facilities and marine events which of the following signs will be posted (A2.2.) Select all that apply:

- Save Sea Turtle/ Sawfish/ and Dolphin Sign
- Help Protect North American Right Whale
- Report Sturgeon
- U.S. Caribbean

NA For commercial/multi-family/public docking facilities/monofilament recycling bins will be installed. (A2.3)

NA North Atlantic Right Whale Educational Sign Zone: Is the North Atlantic right whales handout included as special condition of permit (A2.4)?

No Does the project include a municipal or commercial fishing pier?

NA Is dock within visible distance of an ocean beach? NA If yes; is turtle-friendly lighting installed as required by JAXBO (A2.8)?

Yes Will project construction take place from uplands or from floating equipment (e.g. barge) as required (A2.9)?

NA Dock Construction Scenario included as a special condition (A2.17)?

For projects located in Designated Critical Habitat: please complete applicable section below:

No Is the project located in the geographic area of Smalltooth Sawfish Critical Habitat?

Is project located in smalltooth sawfish limited exclusion zone?

No Is the project located in the geographic area of Gulf Sturgeon Critical Habitat?

Enter width of the area (e.g. channel/ bay) if in a the Gulf sturgeon critical habitat migratory restriction zone (Section 2.1.1.2)

Select additional noise restrictions required as special condition in Gulf sturgeon critical habitat migratory restriction zones (A2.11).

No Is the project located in the geographic area of Acropora Critical Habitat?

Are essential features present?

Is hardbottom present in project footprint? (AP.14).

No Is the project located in the geographic area of Johnson's Seagrass Critical Habitat?

Water depths (insert range of water depths where project will occur as minus MLW)

Project includes a new marina or multifamily facility (A2.14)?

Does the project include repair/replacement and reconfiguration of existing marinas or multi-family facilities?

If project is repair/replacement and reconfiguration of existing marinas or multi-family facilities then select all that apply under JAXBO (A2.14):

Occurs within same overall footprint (out to the perimeter of the facility including the outer limits of the structure and permitted mooring locations).

Does not increase the total aerial extent (i.e. area of coverage from the dock structures) of the existing facility.

Does not affect Johnson's seagrass.

No Is the project located in the geographic area of Nearshore Reproductive Habitat of NWA DPS of Loggerhead Sea Turtle Critical Habitat?

Does the project include the installation of a structure other than ATONs (A2.15)?

No Is the project located near sea turtle nesting beaches in the geographic area of U.S. Caribbean Sea Turtle Critical Habitat?

Does the project include the installation of a structure other than ATONs near sea turtle nesting beaches (A2.16)?

Comments:

All pilings approx. 6" dia.



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 1. Minor Work Permit No. 77246 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org
<noreply@fs2.formsite.com>
Sent: Wednesday, May 31, 2023 1:15 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14255836

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	whatsupdocktampa@gmail.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Construction of new dock with a platform with a new Boatlift on the right side
Owner First Name	Bobby
Owner Last Name	Soroory
Mailing Address	<u>1022 Normandy Trace Road *</u>
City	Tampa
State	FL
Zip Code	33602
Owner Telephone Number(s)	813-508-0387
Email Address	bsoroory@gmail.com
Are you using an agent?	Yes
Agent First Name	James
Agent Last Name	Gres
Company Name (if applicable)	Anchor Marine & Boatlift Co.
Street Address	4323 W Bay To Bay Blvd
City	Tampa
State	FL
Zip Code	33629

Telephone Number(s)	813-902-0600
Email Address	whatsupdocktampa@gmail.com
Site Street Address	2913 N Shoreview Place
City	Tampa
State	FL
Zip Code	33602
Folio Numbers(s) of Site	181570-0502
Parcel ID:	
Section	
Required	11
Township	
Required	29
Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Old Tampa Bay
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	New Work
To Begin On:	06/21/2023
To Be Completed By:	06/30/2023
Public Interest Comment Box:	this project will not impact the jurisdictional lands and associate water body
1st Adjacent Property Owner Name(s)	Booth by Rene <u>BOOTHBY RENE A; MURPHY KATHLEEN J *</u>

Mailing Address	2914* 2114 N Shoreview Place
City	Tampa
State	FL
Zip Code	33612 <u>33602 *</u>
2nd Adjacent Owner	Francis Can <u>FRANCISCAN SISTERS OF ALLEGANY NY INC *</u>
Mailing Address	3008 Perry Ave <u>PO BOX W *</u>
City	Tampa <u>SAINT BONAVENTURE *</u>
State	FL <u>NY *</u>
Zip Code	33612 <u>14778 *</u>
OWNER / APPLICANT ACKNOWLEDGEMENT	I am an agent filling out the application on behalf of the owner.
Please download, complete and sign the Owner's Authorization Form. Then upload the signed authorization document here:	Bobby Soroory Owner Applicant .pdf (1.18 MB)
Project Drawings uploads: (Site Plan, Plan Review, Profile)	Bobby Soroory Dock Drawings and the Survey .pdf (1.85 MB)

This email was sent to castillol@epchc.org as a result of a form being completed.
[Click here](#) to report unwanted email.





Environmental Protection Commission of Hillsborough County (EPC)
 Roger P. Stewart Center
 3629 Queen Palm Drive · Tampa, FL 33619
 Ph: (813) 627-2600 · Fax: (813) 627-2630

**Owner/Applicant Acknowledgement, Authorization to Access Property,
 and Designation of Authorized Representative**

Instructions: Owner/Applicant must complete this authorization form. For multiple properties, please provide a separate form for each property. For business organizations (e.g. LLC, corporations, partnerships), this form must be signed by a person authorized to bind the organization. A business organization or person who has sufficient real property interest is required to authorize access to the property.

A. OWNER/APPLICANT ACKNOWLEDGEMENT

By signing below, I or the business organization, am applying for a permit(s)* to conduct the activity(ies) described in the application. I am familiar with the information contained in the application and represent that it is true, complete and accurate. I understand this is an application and not a permit, and that work prior to approval may be a violation. I understand that this application and any permit issued thereto, does not relieve me of any obligation for obtaining any other required federal, state, water management district or local permit prior to commencement of activities. I agree to operate and maintain the proposed activity in compliance with permits and laws, unless the EPC authorizes transfer of the permit to a different responsible entity. I understand that my application will not be processed if there is any missing, insufficient, or invalid information or insufficient fees. I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance of evidence to show that the proposed project will comply with applicable environmental standards/laws. I agree that upon written concurrence, the EPC may make changes to the application based on revised drawings and/or additional information provided by agent or applicant. I further agree EPC can unilaterally change non-substantive typographical errors. I understand that knowingly making any false statement or representation in this application is a violation of EPC Act and rules and may result in, among other things, revocation of the permit or denial of the application.


B. CERTIFICATION OF SUFFICIENT REAL PROPERTY INTEREST AND AUTHORIZATION FOR STAFF TO ACCESS THE PROPERTY

By signing below, I certify that I, or the business organization, possess sufficient real property interest in or control over the land upon which the activities described in this application are proposed and that I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the EPC to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application. I authorize EPC, its agents, and assigns to enter the property as many times as may be necessary to make such review, inspection, and/ or sampling. Further, I agree to provide entry to the project site for such agents or personnel to monitor and inspect permitted work if a permit is granted.

C. DESIGNATION OF AUTHORIZED REPRESENTATIVE (IF APPLICABLE)

By signing below, I authorize the representative listed below to act on my behalf, or on behalf of the organization, to process the application; to negotiate revisions; to accept or agree to conditions or stipulations; and to furnish, upon request, supplemental information in support of the application. In addition, I authorize the representative listed below to bind me, or the organization, to perform any requirements that may be necessary to procure the permit or authorization.

Authorized Representative Name Anchor Marine & Boatlift Co.
 Telephone 813-902-0600 Email whatsupdocktampa@gmail.com

Owner/Applicant Signature  Date 5/10/23
 Print Name Bobby Soroory Folio Number _____
 Business Organization (if applicable) _____ Title _____

*The term "permit" is used generally herein to mean a permit, an authorization, a wetland delineation, etc. For a wetland delineation request, it is understood that this is not an application to impact wetlands or conduct activities in wetlands other surface waters.

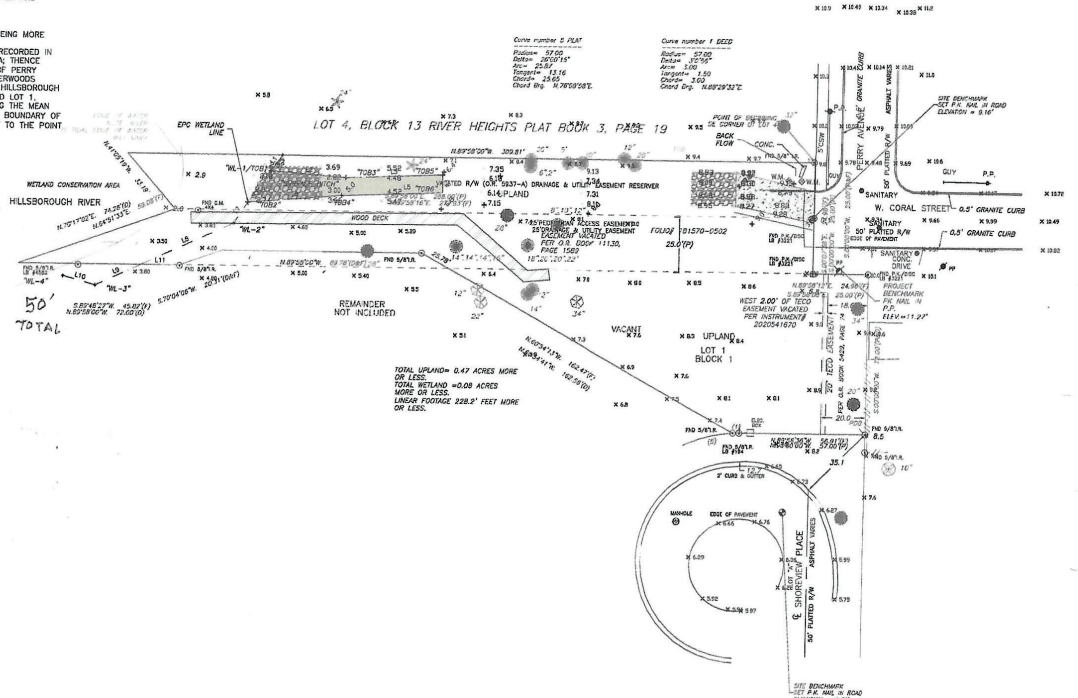
SECTION 11, TOWNSHIP 29 SOUTH, RANGE 18 EAST, HILLSBOROUGH COUNTY, FLORIDA

TOPOGRAPHIC SURVEY
WETLAND DELINEATION

LEGAL DESCRIPTION:
A PORTION OF LOT 1 OF RIVERWOODS SUBDIVISION, AS RECORDED IN PLAT BOOK 64, PAGE 10, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGAN AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 90°00'00" WEST FOR 52.00 FEET TO A POINT OF CURVATURE; THENCE WESTERLY ALONG THE ARC OF A CURVE CONCAVE SOUTHERLY, SAID CURVE HAVING A RADIUS OF 57.00 FEET, A CENTRAL ANGLE OF 03°00'56", AN ARC LENGTH OF 3.00 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 88°20'32" WEST, 3.00 FEET; THENCE NORTH 65°50'41" WEST, FOR 20.31 FEET; THENCE NORTH 89°58'00" WEST, FOR 22 FEET MORE OR LESS TO THE MEAN HIGH WATER LINE OF THE HILLSBOROUGH RIVER; THENCE NORTHERLY ALONG SAID MEAN HIGH WATER LINE FOR 89 FEET MORE OR LESS TO THE NORTH BOUNDARY OF SAID LOT 1; THENCE SOUTH 70°34'08" WEST, FOR 182.56 FEET; THENCE NORTH 89°58'00" WEST, FOR 89.78 FEET; THENCE TO THE MEAN HIGH WATER LINE OF THE HILLSBOROUGH RIVER; THENCE NORTHERLY ALONG SAID MEAN HIGH WATER LINE FOR 89 FEET MORE OR LESS TO THE NORTH BOUNDARY OF SAID LOT 1; THENCE SOUTH 87°58'00" EAST, ALONG SAID NORTH BOUNDARY FOR 288 FEET MORE OR LESS TO THE WEST RIGHT-OF-WAY LINE OF PERRY AVENUE; THENCE SOUTH 00°00'00" WEST, ALONG SAID RIGHT-OF-WAY LINE FOR 25.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF CORAL STREET; THENCE 88°00'00" EAST, FOR 25.00 FEET; THENCE SOUTH 00°00'00" EAST, ALONG THE EAST BOUNDARY OF SAID LOT 1, FOR 72.00 FEET TO THE POINT OF BEGINNING, RESERVING A PEDESTRIAN ACCESS EASEMENT OVER AND ACROSS THE NORTH 25 FEET OF THE ABOVE DESCRIBED PARCEL.

TOGETHER WITH A 25.00 FOOT VACATED RIGHT OF WAY PER ORDINANCE NO. 5937-A BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGAN AT THE SOUTHEAST CORNER OF LOT 4, LOT 13, PLAN OF RIVER HEIGHTS, AS RECORDED IN PLAT BOOK 3, PAGE 19, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA; THENCE SOUTH 07°00'00" EAST (ASSUMED BEARING) ALONG THE WESTERLY RIGHT OF WAY LINE OF PERRY AVENUE, 25.00 FEET, TO A POINT ON THE NORTH BOUNDARY OF LOT 1, BLOCK 1, RIVERWOODS SUBDIVISION, AS RECORDED IN PLAT BOOK 64, PAGE 10, IN THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA; THENCE NORTH 89°58'00" WEST ALONG THE NORTH BOUNDARY OF SAID LOT 1, HIGHER WATER LINE, THENCE NORTH 89°58'00" WEST, 33.19 FEET TO A POINT ON THE SOUTH BOUNDARY OF SAID LOT 4; THENCE SOUTH 89°58'00" EAST ALONG SAID SOUTH BOUNDARY 305.81 FEET TO THE POINT OF BEGINNING, CONTAINING 7472.6 SQUARE FEET MORE OR LESS.

SOROORY, BOBBAC
SOROORY, SHEIDA
2913 N SHOREVIEW PL, TAMPA, FL
Folio 181570 0502
A-11-29-18-HQB-000000-00001.0



TREE LEGEND (SIZE AS NOTED)

- OAK TREE
- PALM TREE
- CAMPHOR TREE
- SIKKIMORE TREE
- PINE TREE

NOTES:
1) ALL MEASUREMENTS MADE FROM THE EXISTING 1/4 SECTION 11 CORNER TO THE CENTERLINE OF PERRY AVENUE.
2) ALL MEASUREMENTS MADE TO BE IN ACCORD WITH "AS SHOWN" SURVEYING PRACTICES.
3) ALL MEASUREMENTS MADE TO BE IN ACCORD WITH "AS SHOWN" SURVEYING PRACTICES.
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ELEVATIONS DERIVED FROM DEPT. OF TRANSPORTATION G.P.S. NETWORK SYSTEM FIP S/F/L, N.A.V.D. DATUM

SYMBOL LEGEND:
○ CHAIN, PILE OR MORTAR MARKER
□ CORNER
○ WOODEN 1/4" DIA.
○ WOODEN 1/2" DIA.
○ WOODEN 3/4" DIA.
○ WOODEN 1" DIA.
○ WOODEN 1 1/2" DIA.
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○ WOODEN 3000" DIA.

DONALD L. WILLIAMSON
CERTIFICATION
I, DONALD L. WILLIAMSON, a duly Licensed Professional Surveyor in the State of Florida, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the client, and that the same is in accordance with the laws and regulations of the State of Florida.
DONALD L. WILLIAMSON
PROFESSIONAL SURVEYOR
NO. 5441
STATE OF FLORIDA

DON WILLIAMSON ASSOCIATES, INC.
PROFESSIONAL SURVEYORS
HILLSBOROUGH COUNTY, FLORIDA
1000 N. W. 13th St., Suite 100
Tampa, FL 33604
TEL: 813-288-1111
FAX: 813-288-1112

77246



Bob Henriquez, CFA

Owner Name Address Folio Parcel Number

Base Maps

Layers

Clear Results

Search

Identify



181526

Franciscan Sisters of Allegany NY Inc. Property
3008 Perry Ave.

Soroory Property
2913 N. Shoreview Pl.

1815700502

1815700503

Boothby; Murphy Property
2914 N. Shoreview Pl.

1815700504

1815700506

1815700508

1815700510

1815700512

77246

N Shoreview Pl

Hillsborot

0 50 100ft

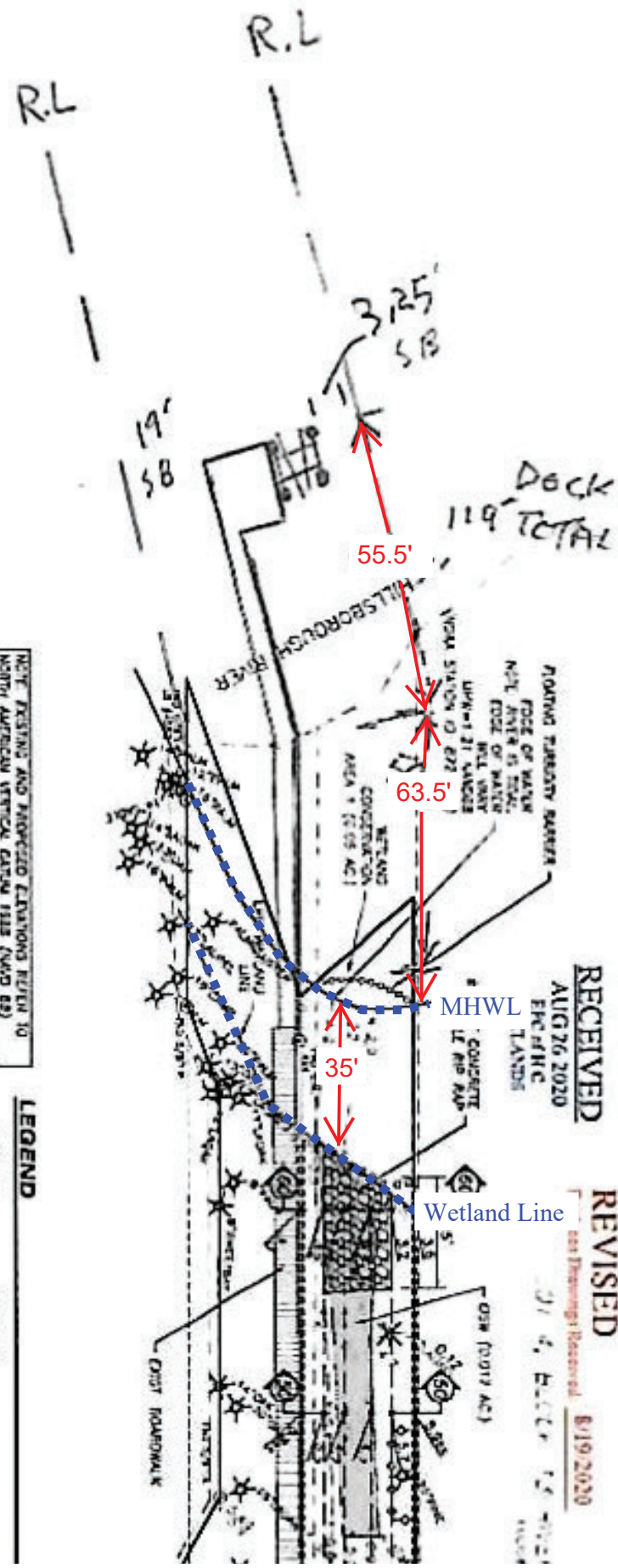


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RECEIVED
AUG 26 2020
EPC of H.C.
LANDS

REVISID
01/04/2023
B/19/2020



TREES TO BE REMOVED: 1 PALM, 3 CHERRY LARZEL, 27 CYPRESS, 15 CYPRESS, 27 LABEL OAK (Q112), 25 LABEL OAK (Q111)

ROOT REMOVAL UTILIZING THE REAPER TOOL IS REQUIRED WHEN TREE ROOTS ARE ENCOUNTERED

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING
(Symbol)	PROPOSED
(Symbol)	WETLAND LINE
(Symbol)	WETLAND CONCENTRATION AREA
(Symbol)	WATER BARRIAGE
(Symbol)	EXIST TREE TO BE REMOVED
(Symbol)	EXIST TREE TO REMAIN
(Symbol)	OSW AREA
(Symbol)	WELL & HEAD

REVISED

Replaces Drawings Received: Nov. 6, 2023

RECEIVED

November 7, 2023

EPC of H.C.
WETLANDS

77246

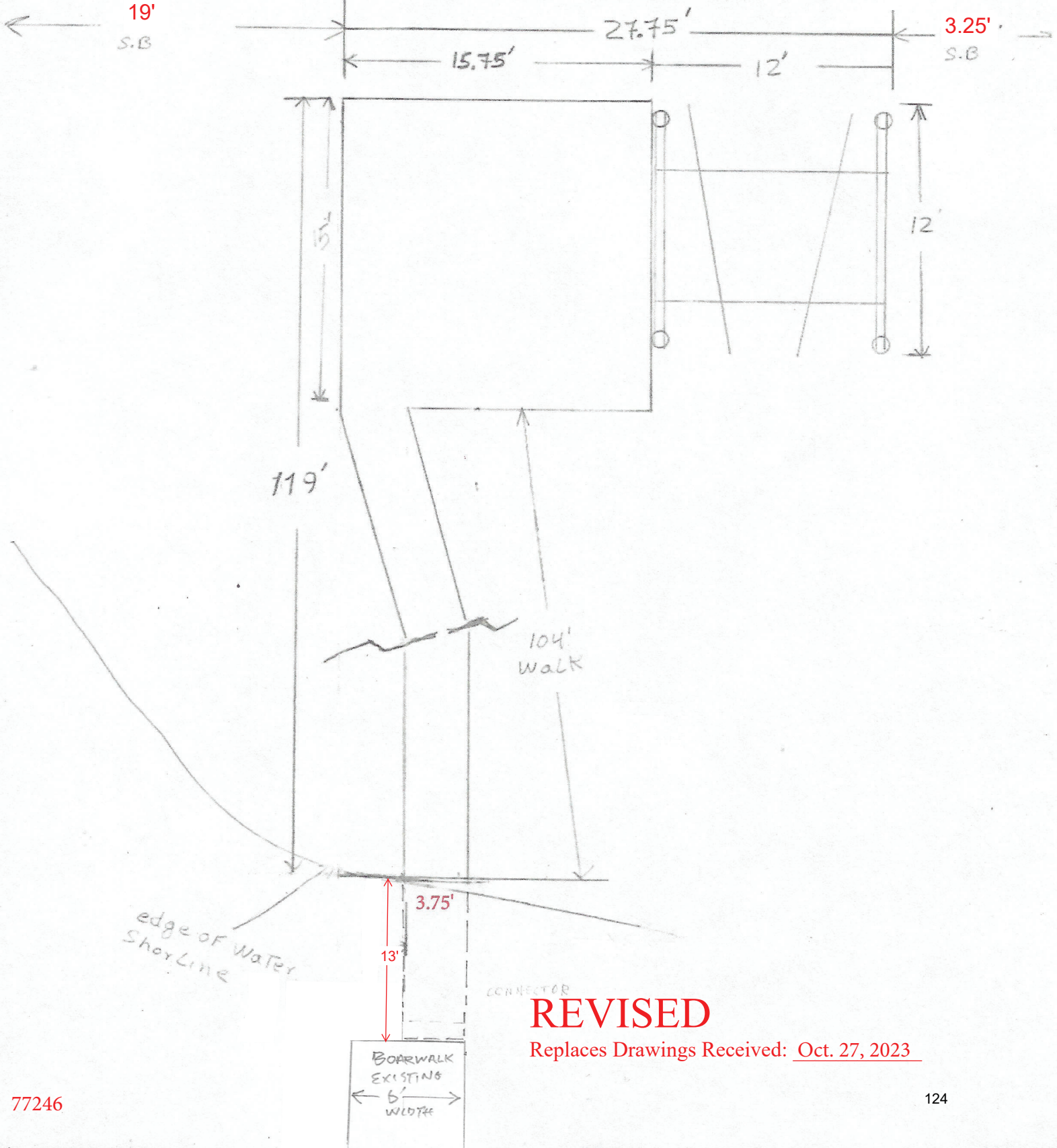
Anchor Marine & Boatlift Co.

PLAN

Bobby Sorroory

2913 N Shoreview Place

50' Total Wide Tampa FL 33602



REVISED

Replaces Drawings Received: Oct. 27, 2023

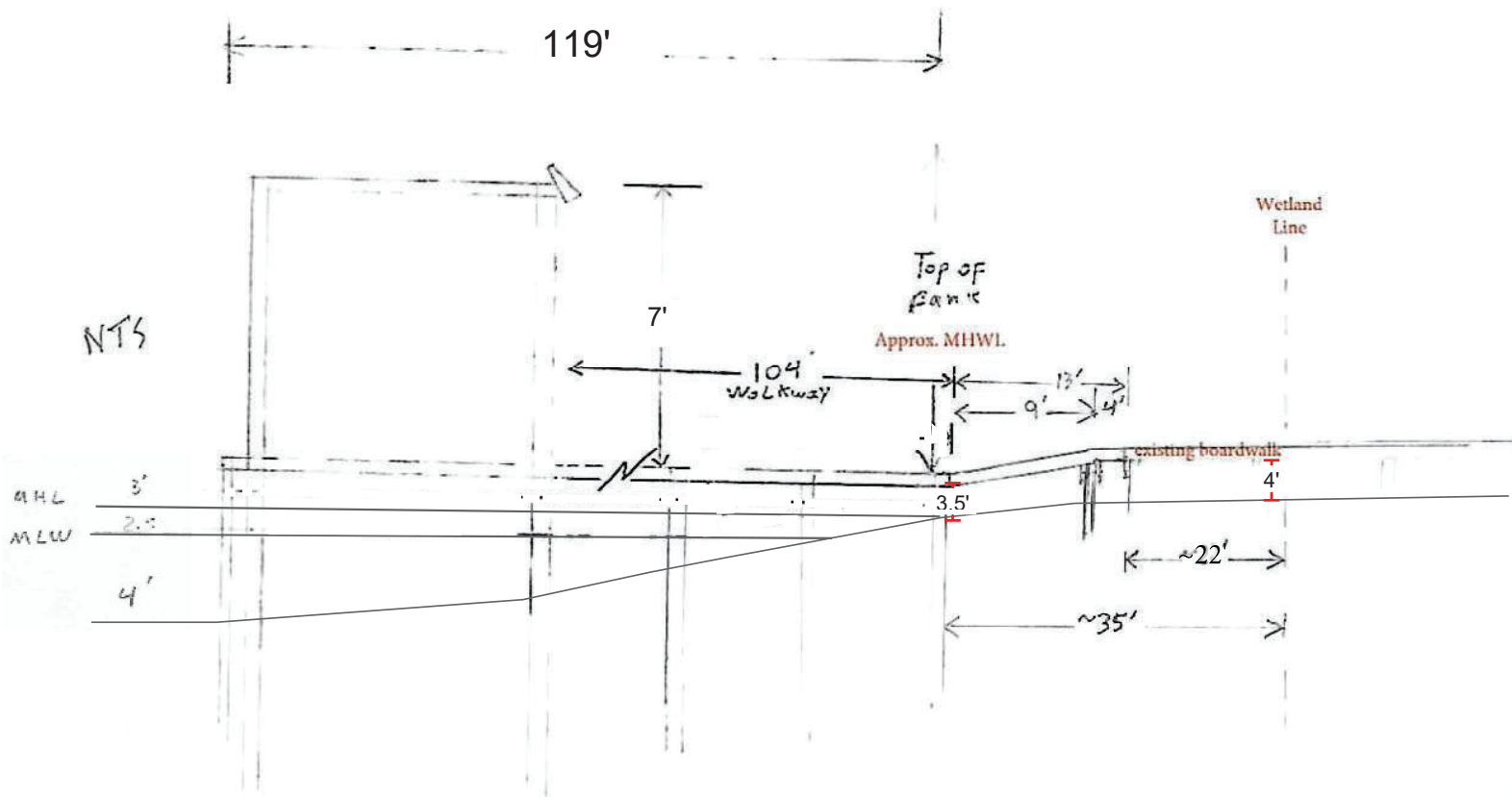
Anchor Marine & Boatlift Co.

PROFILE

Bobby Sorrooy

2913 N Shoreview Place

Tampa FL 33602



REVISED

Replaces Drawings Received: Oct. 27, 2023

RECEIVED

November 2, 2023

EPC of H.C.
WETLANDS

77246



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 2. Minor Work Permit No. 77297 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Joshua Wostal CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Gwendolyn “Gwen” W. Myers
Michael Owen



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

November 8, 2023

Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE;
R S JR Trust TTEE (Sent via email)
c/o Bryon Aponte
bryonaponte@gmail.com
3601 W. Spruce Street
Tampa, FL 33604

Permittee: **CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE**
Permit Number: **77297**
Type of Permit: **INTENT TO ISSUE MINOR WORK PERMIT FOR A DOCK AND RIP-RAP**
Project Address: **802 ALICIA AVENUE, TAMPA, FL 33604**
Issuance Date: **DECEMBER 3, 2023**
Expiration Date: **DECEMBER 3, 2026**

Dear Mr. Aponte:

This Intent to Issue the Minor Work Permit (Permit) for a dock and rip-rap is issued to Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE; R S JR Trust TTEE (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until December 3, 2023.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Lynch". The signature is stylized and cursive.

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg

Enclosures

ec:

Corporal Marc Wilder - mwilder@teamhcsso.com

Brenda Greenwald - greenwaldb@hcpafl.org

Robert Barron - spgp@usace.army.mil

Kat Massey - kat@jfoosterconsulting.com

City of Tampa - Construction Services Department - dave.jennings@tampagov.net

City of Tampa - Real Estate Department - monica.ammann@tampagove.net -
john.archer@tampagov.net

City of Tampa Mobility Department - bertha.mitchell@tampagov.net

City of Tampa Stormwater Services - alexander.awad@tampagov.net

Shawn College - colleges@plancom.org

Candyce Soto - Candyce.soto@gmail.com

charliepsfs@gmail.com

cc: Joseph and Marilyn Hirschfeld



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 77297

PERMITTEE: CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE
3601 W. SPRUCE STREET
TAMPA, FL 33604

AGENT: J FOSTER CONSULTING
KAT MASSEY
2963 1ST AVENUE SOUTH
ST. PETERSBURG, FL 33712

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 60 LINEAR FEET OF RIP-RAP AND CONSTRUCTION OF A DOCK PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: 802 ALICIA AVENUE, TAMPA, FL 33604 / HILLSBOROUGH RIVER

DATE OF ISSUE: DECEMBER 3, 2023

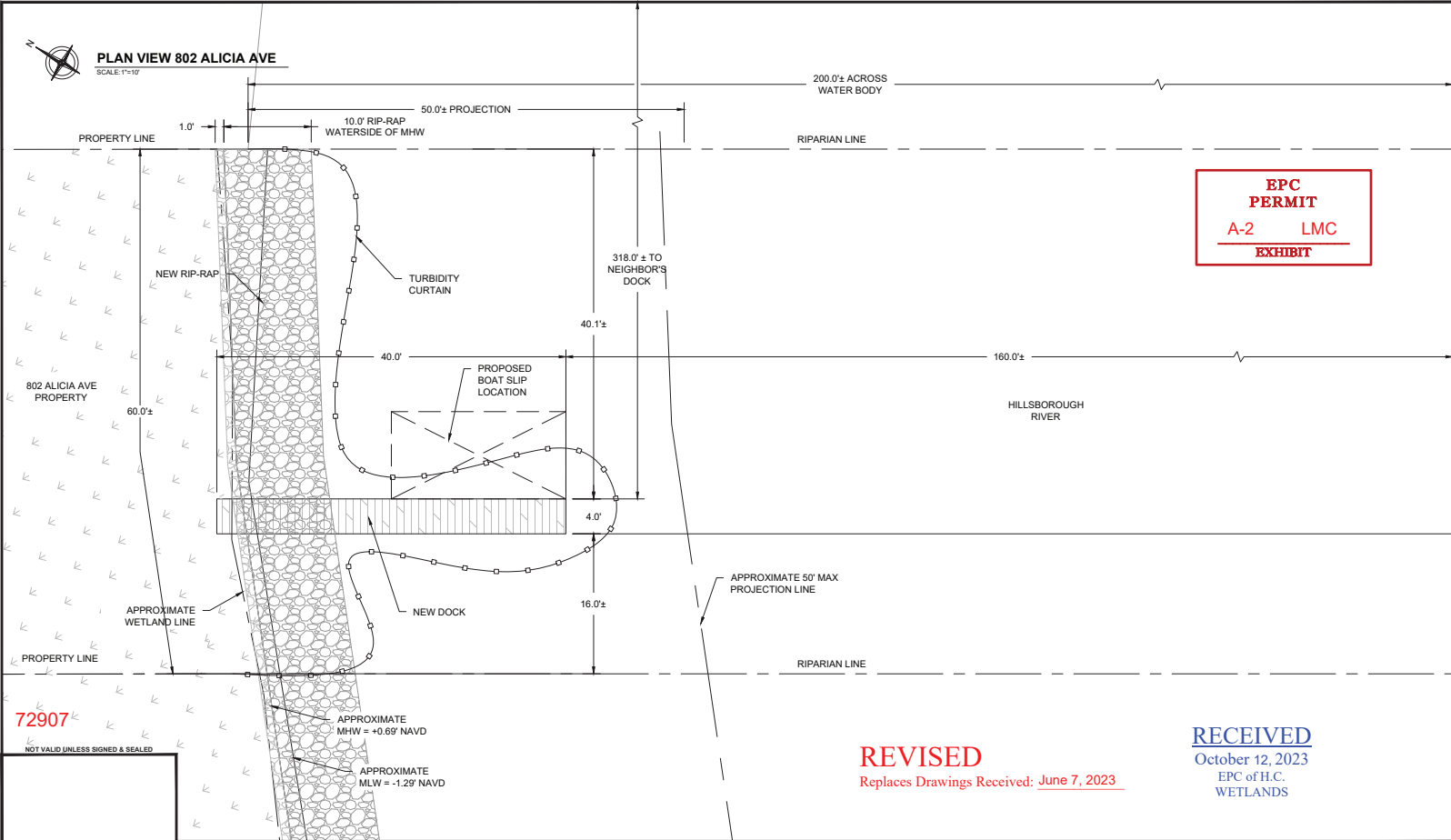
EXPIRATION DATE: DECEMBER 3, 2026

THIS PERMIT CARD SHALL BE PROMINENTLY DISPLAYED AT THE WORKSITE. FOR QUESTIONS CALL THE WETLANDS DIVISION (813) 627-2600.



PLAN VIEW 802 ALICIA AVE

SCALE: 1"=10'




EPC PERMIT
A-2 LMC
EXHIBIT

72907
NOT VALID UNLESS SIGNED & SEALED

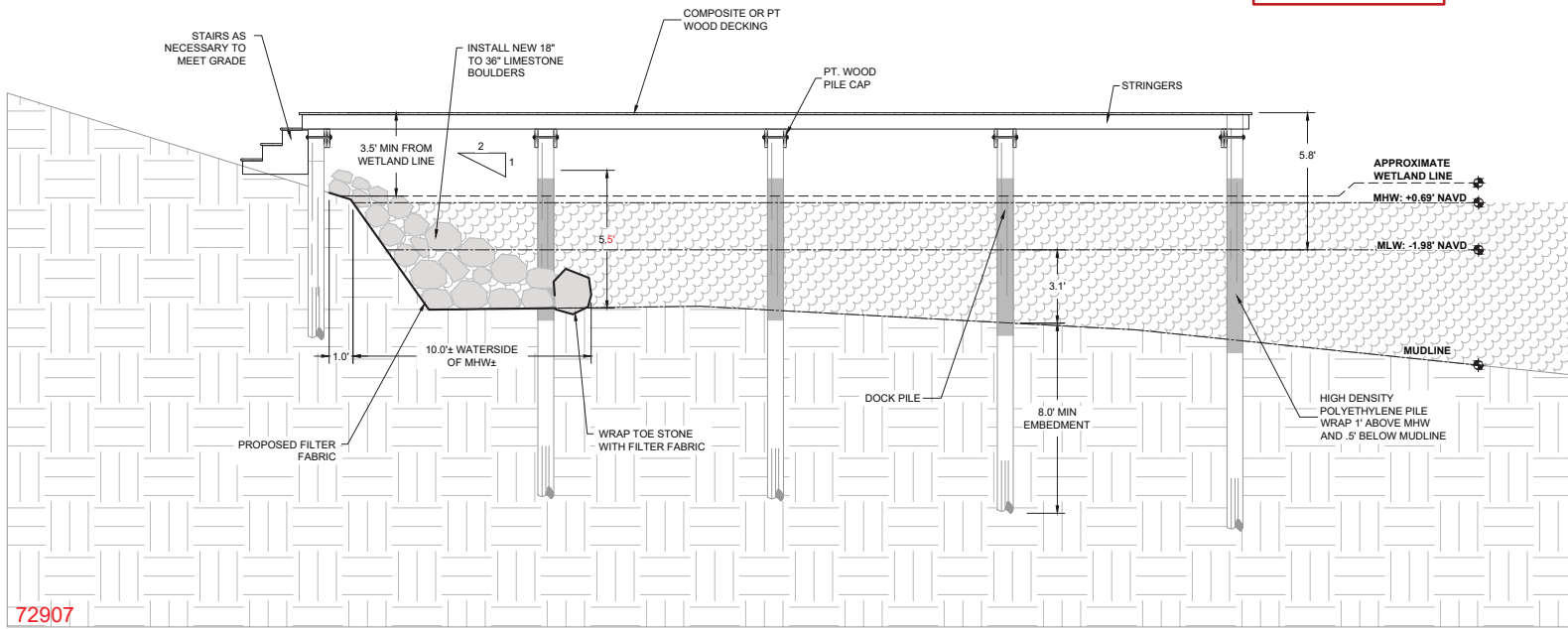
REVISED
Replaces Drawings Received: June 7, 2023

RECEIVED
October 12, 2023
EPC of H.C.
WETLANDS

	FOSTER CONSULTING FL PROFESSIONAL ENGINEER NO. 79708 DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648 FL CERTIFICATE OF AUTHORIZATION NO. 32050 WWW.FOSTERCONSULTING.COM P. (727) 821-1949 P.O. BOX 7370, ST. PETERSBURG, FL 33734	REVISION ▲ ▲ ▲ ▲ ▲	DESCRIPTION 	REVISION DATE 	802-808 ALICIA AVE TAMPA, FLORIDA NEW DOCK PLAN 802 ALICIA AVE.	DATE: 10/06/23 DRAWN BY: SL CHECKED BY: JTF SCALE: AS NOTED	FILE: 23296 SHEET: 01 OF 02 01
---	--	-----------------------------------	---------------------------------	-----------------------------------	--	--	---

APPROXIMATELY 28± CUBIC YARDS OF RIP-RAP

EPC PERMIT
A-3 LMC
EXHIBIT



72907

NOT VALID UNLESS SIGNED & SEALED

DOCK SECTION AT 802 ALICIA AVE.
SCALE: 1/4" = 1'-0"

REVISED
 Replaces Drawings Received: June 7, 2023

RECEIVED
 October 12, 2023
 EPC of H.C.
 WETLANDS



FOSTER CONSULTING
 FL PROFESSIONAL ENGINEER NO. 79708
 DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648
 FL CERTIFICATE OF AUTHORIZATION NO. 32050
 WWW.FOSTERCONSULTING.COM
 P. (727) 821-1948
 P.O. BOX 7370, ST. PETERSBURG, FL 33734

REVISION	DESCRIPTION	REVISION DATE
△		
△		
△		
△		

802-808 ALICIA AVE
 TAMPA, FLORIDA

SECTION 802

DATE:	10/06/23	FILE:	23296	REV:	
DRAWN BY:	SL	SHEET:	02 OF 02		
CHECKED BY:	JTF				02
SCALE:	AS NOTED				

Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org
<noreply@fs2.formsite.com>
Sent: Wednesday, June 7, 2023 12:25 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14271709

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	charliepsfs@gmail.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Boat dock build out & rip rap
Owner First Name	Porfidio
Owner Last Name	Acevedo
Company Name & Title (if applicable)	Central Florida Wealth Builders LLC
Mailing Address	3601 W Spruce St
City	Tampa
State	FL
Zip Code	33607
Owner Telephone Number(s)	813-355-6805
Fax	813-280-6192
Email Address	charliepsfs@gmail.com
Are you using an agent?	No
Site Street Address	802 Alicia Ave
City	Tampa
State	FL
Zip Code	33604

Folio Numbers(s) of Site	104972-0000
Parcel ID:	
Section	
Required	36
Township	
Required	28
Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Central Florida Wealth Builders
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	New Work
1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes)	Dock
Item #232	

Length of Shoreline (in linear feet)	
(if applicable)	60
Number of Proposed Docks	
(if applicable)	1
Number of Boat Slips / Lifts	
(if applicable)	1
Length from OHW/MHW to Waterward Edge of Structure (in feet)	
(if applicable)	40
Width of Structure (in feet)	
(if applicable)	<u>4 *</u>
Mooring Water Depth at O/MLW (in feet) <u>3 *</u>	
Existing Structure Area (in square feet)	
Proposed Structure Area (in square feet)	
(if applicable)	<u>160 *</u>
Overall Area of Facility (in square feet)	
(if applicable)	<u>160 *</u>
2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)	Rip-Rap
Item #237	
Length of Shoreline at Site (in linear feet)	
(if applicable)	60
Length of Work Proposed Along Shoreline (in linear feet)	
(if applicable)	60
Seawall Vertical Height (in feet)	
(if applicable)	<u>N/A *</u>
Rip-Rap Slope - Horizontal Distance (in feet)	
(if applicable)	<u>11</u>

Rip-Rap Slope - Vertical Height (in feet)

(if applicable) 5.5

Type of Material

(if applicable) natural stone

Dredged Volume (in cubic feet)

Filled Volume (in cubic feet)

To Begin On: 06/26/2023

To Be Completed By: 07/17/2023

Public Interest Comment Box: This project does not contradict with public interest.

1st Adjacent Property Owner Name(s) City of Tampa Public Works *

Mailing Address 306 East Jackson Street *

City Tampa

State FL

Zip Code 33602 *

2nd Adjacent Owner HIRSCHFELD JOSEPH J; HIRSCHFLED MARILYN C *

Mailing Address 17711 CURRIE FORD DRIVE *

City LUTZ *

State FL

Zip Code 33558 *

OWNER / APPLICANT ACKNOWLEDGEMENT I am the property owner and applicant.

B. CERTIFICATION OF SUFFICIENT REAL PROPERTY INTEREST AND AUTHORIZATION FOR STAFF TO ACCESS THE PROPERTY

By signing below, I certify that I, or the business organization, possess sufficient real property interest in or control over the land upon which the activities described in this application are proposed and that I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the EPC to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application. I authorize EPC, its agents, and assigns to enter the property as many times as may be necessary to make such review, inspection, and/ or sampling. Further, I agree to provide entry to the project site for such agents or personnel to monitor and inspect permitted work if a permit is granted.



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 3. Minor Work Permit No. 77298 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

November 14, 2023

Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE;
R S JR Trust TTEE (Sent via email)
c/o Bryon Aponte
bryonaponte@gmail.com
3601 W. Spruce Street
Tampa, FL 33604

Permittee: **CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE**
Permit Number: **77298**
Type of Permit: **INTENT TO ISSUE MINOR WORK PERMIT FOR A DOCK AND RIP-RAP**
Project Address: **804 ALICIA AVENUE, TAMPA, FL 33604**
Issuance Date: **DECEMBER 9, 2023**
Expiration Date: **DECEMBER 9, 2026**

Dear Mr. Aponte:

This Intent to Issue the Minor Work Permit (Permit) for a dock and rip-rap is issued to Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE; R S JR Trust TTEE (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR in wetlands or other surface waters until December 9, 2023.**

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink that reads "Michael Lynch" in a cursive style.

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg

Enclosures

ec:

Corporal Marc Wilder - mwilder@teamhcsso.com

Brenda Greenwald - greenwaldb@hcapfl.org

Robert Barron - spgp@usace.army.mil

Kat Massey - kat@jfoosterconsulting.com

City of Tampa - Construction Services Department - dave.jennings@tampagov.net

City of Tampa - Real Estate Department - monica.ammann@tampagove.net -
john.archer@tampagov.net

City of Tampa Mobility Department - bertha.mitchell@tampagov.net

City of Tampa Stormwater Services - alexander.awad@tampagov.net

Shawn College - colleges@plancom.org

Candyce Soto - Candyce.soto@gmail.com

charliepsfs@gmail.com

cc: Joseph and Marilyn Hirschfeld



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 77298

PERMITTEE: CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE
3601 W. SPRUCE STREET
TAMPA, FL 33604

AGENT: J FOSTER CONSULTING
KAT MASSEY
2963 1ST AVENUE SOUTH
ST. PETERSBURG, FL 33712

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 60 LINEAR FEET OF RIP-RAP AND CONSTRUCTION OF A DOCK PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: 804 ALICIA AVENUE, TAMPA, FL 33604 /
HILLSBOROUGH RIVER

DATE OF ISSUE: DECEMBER 9, 2023

EXPIRATION DATE: DECEMBER 9, 2026

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

Valid for property boundary purposes only.
 Not valid for dock and rip-rap plans.
 -LMC, EPC staff

EPC PERMIT
A-1 LMC
EXHIBIT



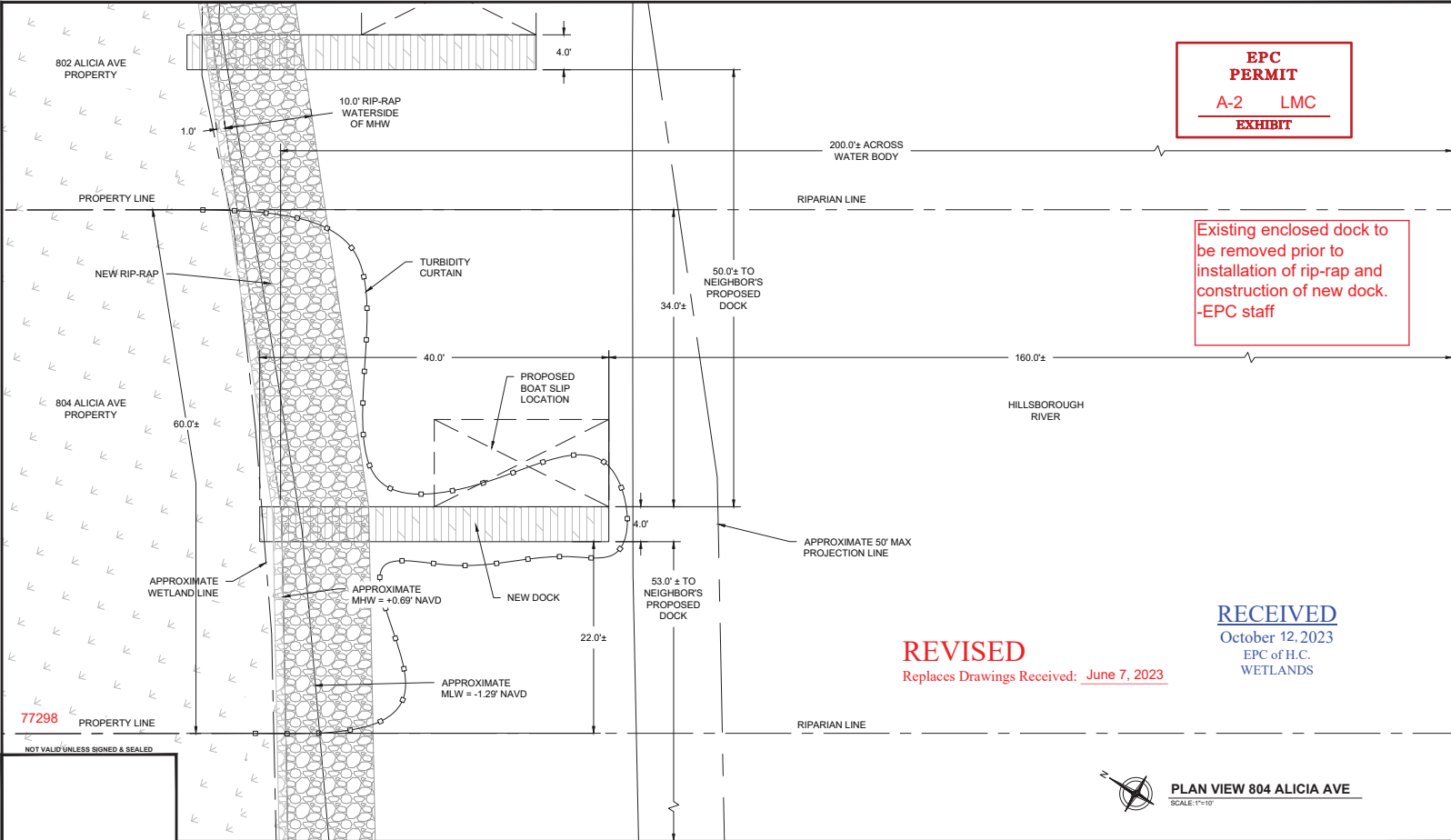
802 ALICIA ST. TAMPA, FLORIDA ARCHITECTURAL SITE PLAN
PETE ARCIN ARCHITECTS 1015 W. GORHAM ST. TAMPA, FL 33606 TEL: 813.338.9100
REAL
PERMIT NO. A-0

EPC PERMIT
A-2 LMC
EXHIBIT

Existing enclosed dock to be removed prior to installation of rip-rap and construction of new dock.
 -EPC staff

RECEIVED
 October 12, 2023
 EPC of H.C. WETLANDS

REVISED
 Replaces Drawings Received: June 7, 2023



77298
 NOT VALID UNLESS SIGNED & SEALED



FOSTER CONSULTING
 FL PROFESSIONAL ENGINEER NO. 79708
 DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648
 FL CERTIFICATE OF AUTHORIZATION NO. 32050
 WWW.FOSTERCONSULTING.COM
 P. (727) 821-1948
 P.O. BOX 7370, ST. PETERSBURG, FL 33734

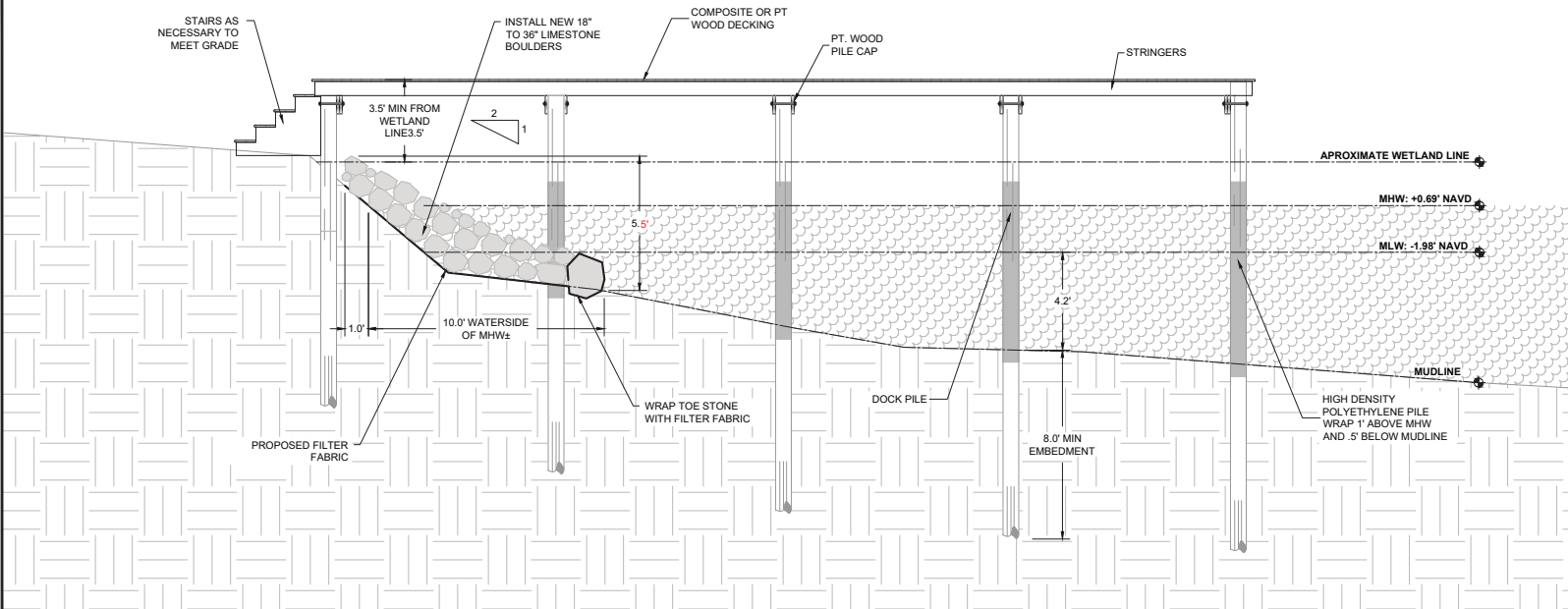
REVISION	DESCRIPTION	REVISION DATE
△		
△		
△		
△		

802-808 ALICIA AVE
 TAMPA, FLORIDA
NEW DOCK PLAN 804 ALICIA AVE.

DATE:	10/06/23	FILE:	23296	REV:	
DRAWN BY:	SL	SHEET:	01 OF 02		
CHECKED BY:	JTF				
SCALE:	AS NOTED	01			

APPROXIMATELY 16± CUBIC YARDS OF RIP-RAP

EPC PERMIT
A-3 LMC
EXHIBIT



77298

NOT VALID UNLESS SIGNED & SEALED

DOCK SECTION AT 802 ALICIA AVE.
SCALE: 1/4" = 1'-0"

REVISED
Replaces Drawings Received: June 7, 2023

RECEIVED
October 12, 2023
EPC of H.C. WETLANDS



FOSTER CONSULTING
FL PROFESSIONAL ENGINEER NO. 79708
DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648
FL CERTIFICATE OF AUTHORIZATION NO. 32050
WWW.FOSTERCONSULTING.COM
P. (727) 821-1949
P.O. BOX 7370, ST. PETERSBURG, FL 33734

REVISION	DESCRIPTION	REVISION DATE
△		
△		
△		
△		

802-808 ALICIA AVE
TAMPA, FLORIDA

SECTION 804

DATE:	10/06/23	FILE:	23296	REV:	
DRAWN BY:	SL	SHEET:	02 OF 02		
CHECKED BY:	JTF				02
SCALE:	AS NOTED				

Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org
<noreply@fs2.formsite.com>
Sent: Wednesday, June 7, 2023 12:36 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14271737

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	charliepsfs@gmail.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Boat dock build rit & rip rap
Owner First Name	Porfidio
Owner Last Name	Acevedo
Company Name & Title (if applicable)	Central Florida Wealth Builders LLC
Mailing Address	3601 W Spruce St
City	Tampa
State	FL
Zip Code	33607
Owner Telephone Number(s)	813-355-6805
Email Address	charliepsfs@gmail.com
Are you using an agent?	No
Site Street Address	804 Alicia Ave
City	Tampa
State	FL
Zip Code	33604

Folio Numbers(s) of Site	104972-0005
Parcel ID:	
Section	
Required	36
Township	
Required	28
Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Central Florida Wealth Builders
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	New Work
1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes)	Dock
Item #232	

Length of Shoreline (in linear feet)

(if applicable) 60

Number of Proposed Docks

(if applicable) 1

Number of Boat Slips / Lifts

(if applicable) 1

Length from OHW/MHW to Waterward Edge of Structure (in feet)

(if applicable) 40

Width of Structure (in feet)

(if applicable) 4 *

Mooring Water Depth at O/MLW (in feet) 4 *

Existing Structure Area (in square feet) 0 *

Proposed Structure Area (in square feet) 160 *

(if applicable)

Overall Area of Facility (in square feet)

(if applicable) 160 *

2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)

Rip-Rap

Item #237

Length of Shoreline at Site (in linear feet)

(if applicable) 60

Length of Work Proposed Along Shoreline (in linear feet)

(if applicable) 60

Seawall Vertical Height (in feet)

(if applicable) N/A *

Rip-Rap Slope - Horizontal Distance (in feet)

(if applicable) 11 *

Rip-Rap Slope - Vertical Height (in feet)

(if applicable) 5.5 *

Type of Material

(if applicable) natural stone

Dredged Volume (in cubic feet)

Filled Volume (in cubic feet)

To Begin On: 06/26/2023

To Be Completed By: 07/17/2023

Public Interest Comment Box: This project does not contradict with public interest.

1st Adjacent Property Owner Name(s) City of Tampa Public Works *

Mailing Address 306 East Jackson Street *

City Tampa

State FL

Zip Code 33602 *

2nd Adjacent Owner HIRSCHFELD JOSEPH J; HIRSCHFLED MARILYN C *

Mailing Address 17711 CURRIE FORD DRIVE *

City LUTZ *

State FL

Zip Code 33558 *

OWNER / APPLICANT ACKNOWLEDGEMENT I am the property owner and applicant.

B. CERTIFICATION OF SUFFICIENT REAL PROPERTY INTEREST AND AUTHORIZATION FOR STAFF TO ACCESS THE PROPERTY

By signing below, I certify that I, or the business organization, possess sufficient real property interest in or control over the land upon which the activities described in this application are proposed and that I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the EPC to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application. I authorize EPC, its agents, and assigns to enter the property as many times as may be necessary to make such review, inspection, and/ or sampling. Further, I agree to provide entry to the project site for such agents or personnel to monitor and inspect permitted work if a permit is granted.



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 4. Minor Work Permit No. 77299 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

November 14, 2023

Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE;
R S JR Trust TTEE (Sent via email)
c/o Bryon Aponte
bryonaponte@gmail.com
3601 W. Spruce Street
Tampa, FL 33604

Permittee: **CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE**
Permit Number: **77299**
Type of Permit: **INTENT TO ISSUE MINOR WORK PERMIT FOR A DOCK AND RIP-RAP**
Project Address: **806 ALICIA AVENUE, TAMPA, FL 33604**
Issuance Date: **DECEMBER 9, 2023**
Expiration Date: **DECEMBER 9, 2026**

Dear Mr. Aponte:

This Intent to Issue the Minor Work Permit (Permit) for a dock and rip-rap is issued to Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE; R S JR Trust TTEE (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until December 9, 2023.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,



Michael Lynch - Division Director
EPC Wetlands Division

Lmc/mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcsso.com
Brenda Greenwald - greenwaldb@hcpafl.org
Robert Barron - spgp@usace.army.mil
Kat Massey - kat@jfoosterconsulting.com
City of Tampa - Construction Services Department - dave.jennings@tampagov.net
City of Tampa - Real Estate Department - monica.ammann@tampagove.net -
john.archer@tampagov.net
City of Tampa Mobility Department - bertha.mitchell@tampagov.net
City of Tampa Stormwater Services - alexander.awad@tampagov.net
Shawn College - colleges@plancom.org
Candyce Soto - Candyce.soto@gmail.com
charliepsfs@gmail.com

cc: Joseph and Marilyn Hirschfeld



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 77299

PERMITTEE: CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE
3601 W. SPRUCE STREET
TAMPA, FL 33604

AGENT: J FOSTER CONSULTING
KAT MASSEY
2963 1ST AVENUE SOUTH
ST. PETERSBURG, FL 33712

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 60 LINEAR FEET OF RIP-RAP AND CONSTRUCTION OF A DOCK PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: 806 ALICIA AVENUE, TAMPA, FL 33604 /
HILLSBOROUGH RIVER

DATE OF ISSUE: DECEMBER 9, 2023

EXPIRATION DATE: DECEMBER 9, 2026

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

Valid for property boundary purposes only.
 Not valid for dock and rip-rap plans.
 -LMC, EPC staff

EPC PERMIT
A-1 LMC EXHIBIT



DATE	DESCRIPTION



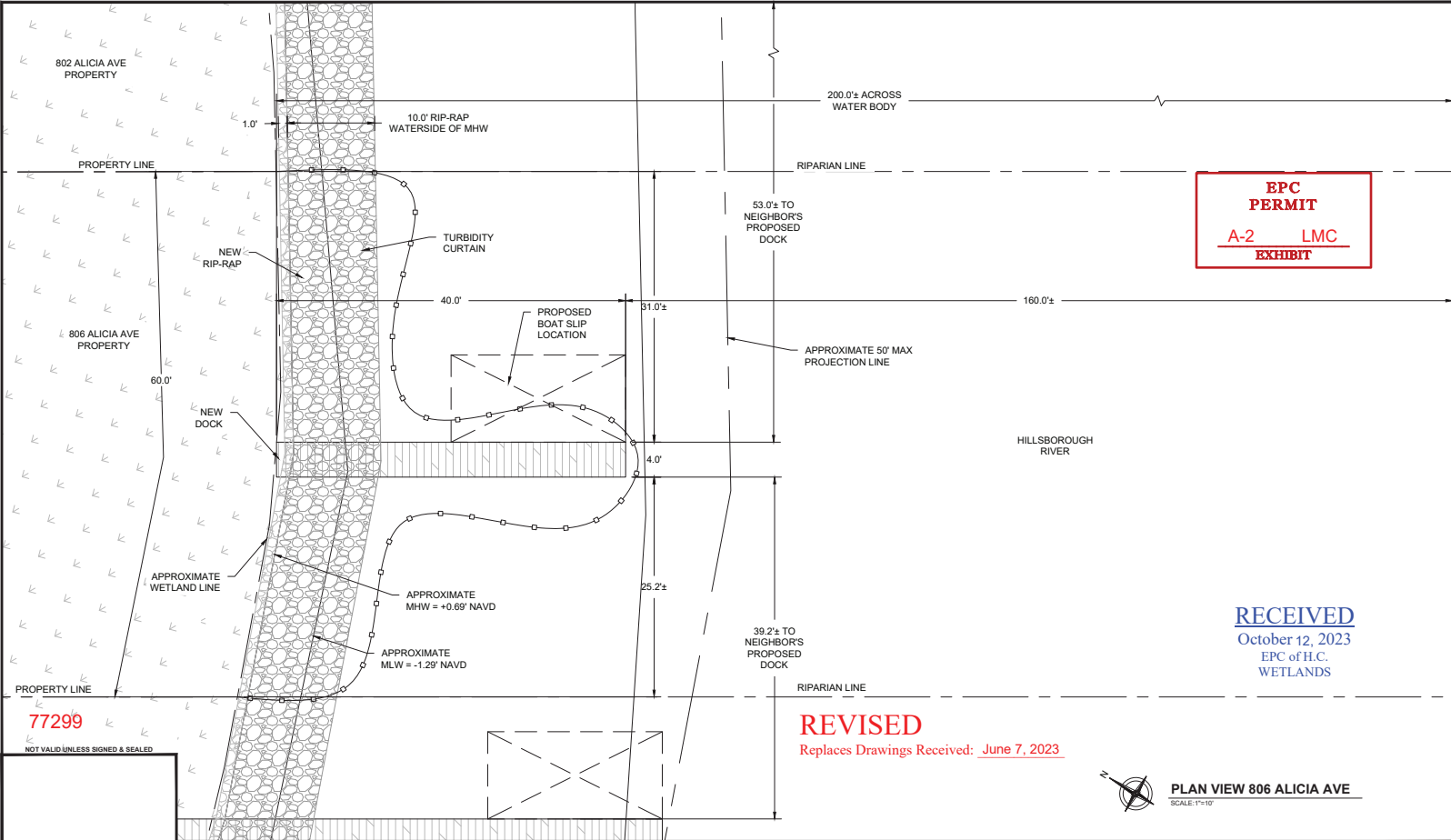
PETE ARCATA ARCHITECT
 1000 N. GORHAM ST., TAMPA, FL 33606
 TEL: 813.288.1111
 WWW.PETEARCHITECT.COM

**806 ALICIA ST.
 TAMPA, FLORIDA
 ARCHITECTURAL SITE PLAN**

SCALE

1" = 10'-0"


SHEET NO.
A-0



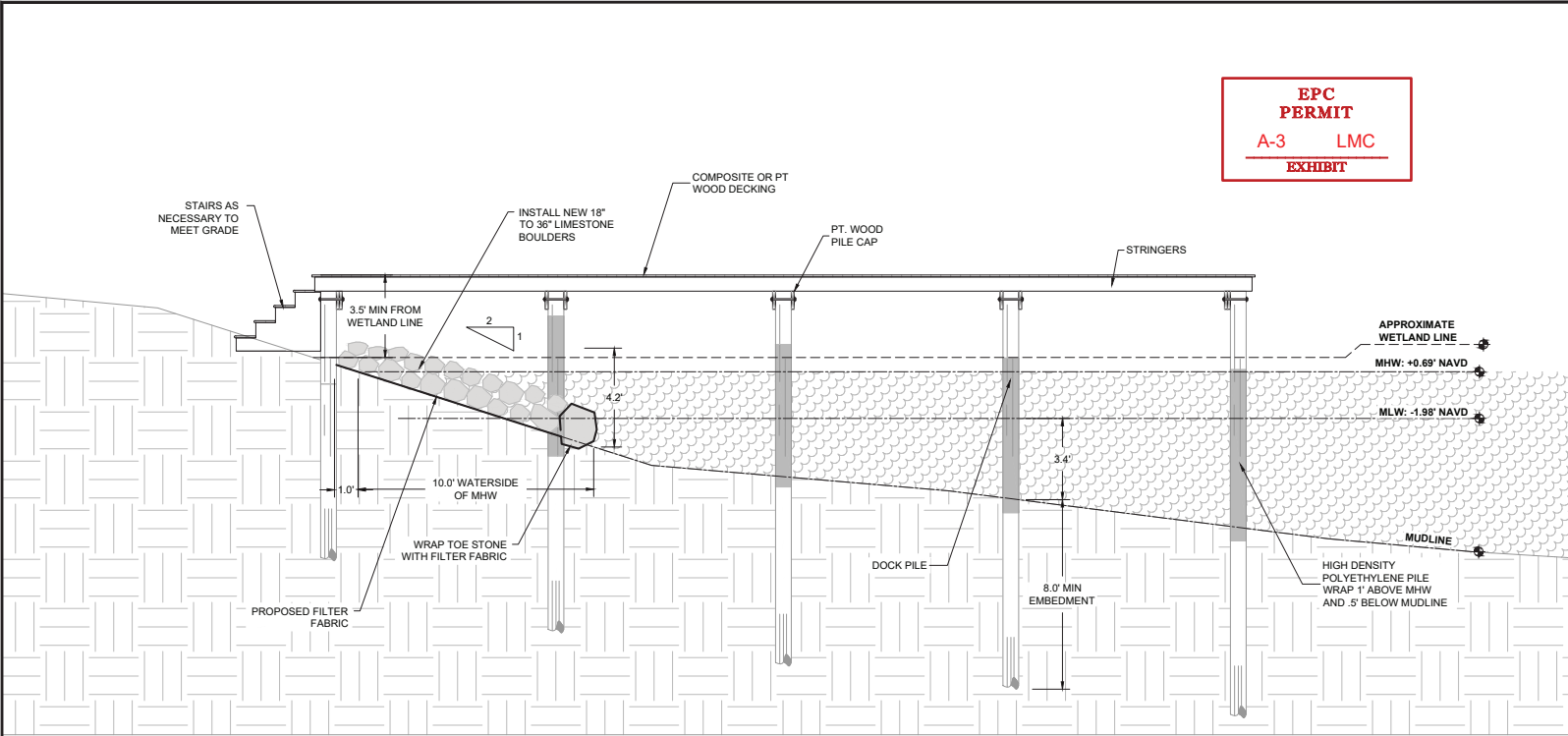
77299
NOT VALID UNLESS SIGNED & SEALED

REVISED
Replaces Drawings Received: June 7, 2023

 **PLAN VIEW 806 ALICIA AVE**
SCALE: 1"=10'

	FOSTER CONSULTING FL PROFESSIONAL ENGINEER NO. 79708 DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648 FL CERTIFICATE OF AUTHORIZATION NO. 32050 WWW.FOSTERCONSULTING.COM P. (727) 821-1949 P.O. BOX 7370, ST. PETERSBURG, FL 33734	REVISION	DESCRIPTION	REVISION DATE	802-808 ALICIA AVE TAMPA, FLORIDA	DATE: 10/06/23	FILE: 23296	REV:
		△				NEW DOCK PLAN 806 ALICIA AVE.	DRAWN BY: SL CHECKED BY: JTF SCALE: AS NOTED	SHEET: 01 OF 02 01

EPC PERMIT
A-3 LMC
EXHIBIT



77299

NOT VALID UNLESS SIGNED & SEALED

DOCK SECTION AT 206 ALICIA AVE.
SCALE: 1/4" = 1'-0"

REVISED

Replaces Drawings Received: June 7, 2023

RECEIVED
 October 12, 2023
 EPC of H.C.
 WETLANDS

	FOSTER CONSULTING FL PROFESSIONAL ENGINEER NO. 79708 DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648 FL CERTIFICATE OF AUTHORIZATION NO. 32050 WWW.FOSTERCONSULTING.COM P. (727) 821-1948 P.O. BOX 7370, ST. PETERSBURG, FL 33734	REVISION △ △ △ △	DESCRIPTION	REVISION DATE	802-808 ALICIA AVE TAMPA, FLORIDA	DATE: 10/06/23 DRAWN BY: SL CHECKED BY: JTF SCALE: AS NOTED	FILE: 23296 SHEET: 02 OF 02 02
					SECTION 806		

Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org
<noreply@fs2.formsite.com>
Sent: Wednesday, June 7, 2023 1:12 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14271865

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	charliepsfs@gmail.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Boat dock build out & rip rap
Owner First Name	Porfidio
Owner Last Name	Acevedo
Company Name & Title (if applicable)	Central Florida Wealth Builders LLC
Mailing Address	3601 W Spruce Street
City	Tampa
State	FL
Zip Code	33607
Owner Telephone Number(s)	813-355-6805
Fax	813-280-6192
Email Address	charliepsfs@gmail.com
Are you using an agent?	No
Site Street Address	806 Alicia Ave
City	Tampa
State	FL
Zip Code	33604

Folio Numbers(s) of Site	104972-0010
Parcel ID:	
Section	
Required	36
Township	
Required	28
Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Central Florida Wealth Builders
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	New Work
1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes)	Dock
Item #232	

Length of Shoreline (in linear feet)	
(if applicable)	60
Number of Proposed Docks	
(if applicable)	1
Number of Boat Slips / Lifts	
(if applicable)	1
Length from OHW/MHW to Waterward Edge of Structure (in feet)	
(if applicable)	40
Width of Structure (in feet)	
(if applicable)	<u>4 *</u>
Mooring Water Depth at O/MLW (in feet) <u>3.4 *</u>	
Existing Structure Area (in square feet)	
Proposed Structure Area (in square feet)	
(if applicable)	<u>160 *</u>
Overall Area of Facility (in square feet)	
(if applicable)	<u>160 *</u>
2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)	Rip-Rap
Item #237	
Length of Shoreline at Site (in linear feet)	
(if applicable)	60
Length of Work Proposed Along Shoreline (in linear feet)	
(if applicable)	60
Seawall Vertical Height (in feet)	
(if applicable)	<u>N/A *</u>
Rip-Rap Slope - Horizontal Distance (in feet)	
(if applicable)	<u>11 *</u>

Rip-Rap Slope - Vertical Height (in feet)

(if applicable) 4.2 *

Type of Material

(if applicable) natural stone

Dredged Volume (in cubic feet)

Filled Volume (in cubic feet)

To Begin On: 06/26/2023

To Be Completed By: 07/17/2023

Public Interest Comment Box: This project does not contradict with public interest.

1st Adjacent Property Owner Name(s) City of Tampa Public Works *

Mailing Address 306 East Jackson Street *

City Tampa

State FL

Zip Code 33602 *

2nd Adjacent Owner HIRSCHFELD JOSEPH J; HIRSCHFLED MARILYN C *

Mailing Address 17711 CURRIE FORD DRIVE *

City LUTZ *

State FL

Zip Code 33558 *

OWNER / APPLICANT ACKNOWLEDGEMENT I am the property owner and applicant.

B. CERTIFICATION OF SUFFICIENT REAL PROPERTY INTEREST AND AUTHORIZATION FOR STAFF TO ACCESS THE PROPERTY

By signing below, I certify that I, or the business organization, possess sufficient real property interest in or control over the land upon which the activities described in this application are proposed and that I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the EPC to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application. I authorize EPC, its agents, and assigns to enter the property as many times as may be necessary to make such review, inspection, and/ or sampling. Further, I agree to provide entry to the project site for such agents or personnel to monitor and inspect permitted work if a permit is granted.



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 5. Minor Work Permit No. 77300 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

November 14, 2023

Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE;
R S JR Trust TTEE (Sent via email)
c/o Bryon Aponte
bryonaponte@gmail.com
3601 W. Spruce Street
Tampa, FL 33604

Permittee: **CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE**
Permit Number: **77300**
Type of Permit: **INTENT TO ISSUE MINOR WORK PERMIT FOR A DOCK AND RIP-RAP**
Project Address: **808 ALICIA AVENUE, TAMPA, FL 33604**
Issuance Date: **DECEMBER 9, 2023**
Expiration Date: **DECEMBER 9, 2026**

Dear Mr. Aponte:

This Intent to Issue the Minor Work Permit (Permit) for a dock and rip-rap is issued to Central Florida Wealth Builders LLC TTEE; Smith Investment Holdings LLC TTEE; R S JR Trust TTEE (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until December 9, 2023.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink that reads "Michael Lynch" in a cursive style.

Michael Lynch - Division Director
EPC Wetlands Division

Lmc/mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcsso.com
Brenda Greenwald - greenwaldb@hcpafl.org
Robert Barron - spgp@usace.army.mil
Kat Massey - kat@jfoosterconsulting.com
City of Tampa - Construction Services Department - dave.jennings@tampagov.net
City of Tampa - Real Estate Department - monica.ammann@tampagove.net -
john.archer@tampagov.net
City of Tampa Mobility Department - bertha.mitchell@tampagov.net
City of Tampa Stormwater Services - alexander.awad@tampagov.net
Shawn College - colleges@plancom.org
Candyce Soto - Candyce.soto@gmail.com
charliepsfs@gmail.com

cc: Joseph and Marilyn Hirschfeld



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 77300

PERMITTEE: CENTRAL FLORIDA WEALTH BUILDERS LLC TTEE; SMITH
INVESTMENT HOLDINGS LLC TTEE; R S JR TRUST TTEE
3601 W. SPRUCE STREET
TAMPA, FL 33604

AGENT: J FOSTER CONSULTING
KAT MASSEY
2963 1ST AVENUE SOUTH
ST. PETERSBURG, FL 33712

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 32 LINEAR
FEET OF RIP-RAP AND CONSTRUCTION OF A
DOCK PURSUANT TO PERMIT EXHIBITS AND
CONDITIONS

PROJECT LOCATION: 808 ALICIA AVENUE, TAMPA, FL 33604 /
HILLSBOROUGH RIVER

DATE OF ISSUE: DECEMBER 9, 2023

EXPIRATION DATE: DECEMBER 9, 2026

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

Valid for property boundary purposes only.
 Not valid for dock and rip-rap plans.
 -LMC, EPC staff

EPC PERMIT
A-1 LMC
EXHIBIT



LOCATION MAP
 SCALE: 1/8"



TERM-1
 SITE BENCHMARK
 SET: NAUTIC-N ROAD
 ELEVATION + 122' (NAVD88)

TERM-2
 SITE BENCHMARK
 SET: NAUTIC-N ROAD
 ELEVATION + 122' (NAVD88)

TERM-3
 SITE BENCHMARK
 SET: NAUTIC-N ROAD
 ELEVATION + 122' (NAVD88)

DATE				
BY				
CHECKED				
SCALE				

808 1/2 ALICIA ST.
 TAMPA, FLORIDA
 ARCHITECTURAL SITE PLAN

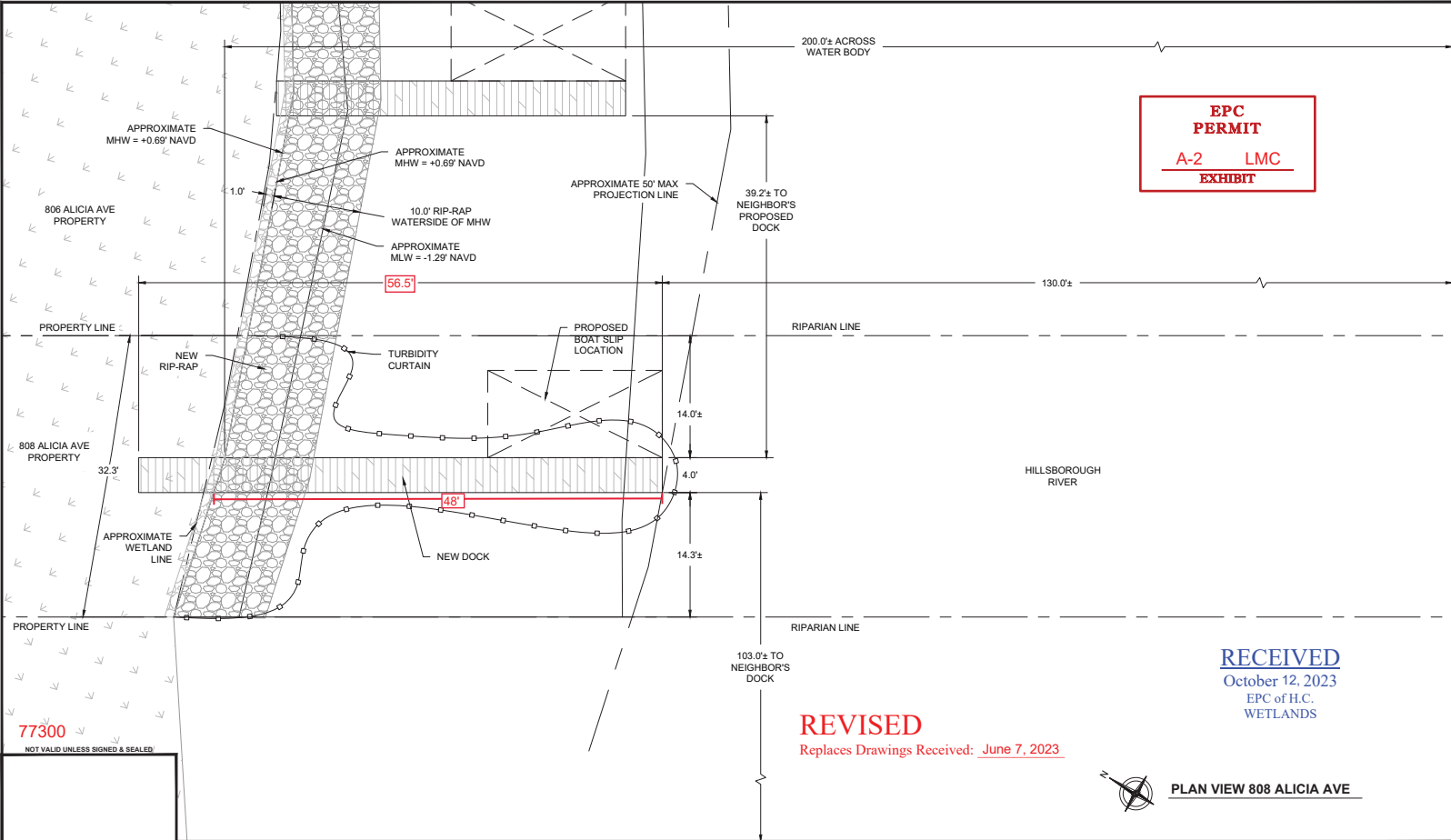
DATE

BY

CHECKED

SCALE

EPC PERMIT
A-2 LMC
EXHIBIT




RECEIVED
 October 12, 2023
 EPC of H.C.
 WETLANDS

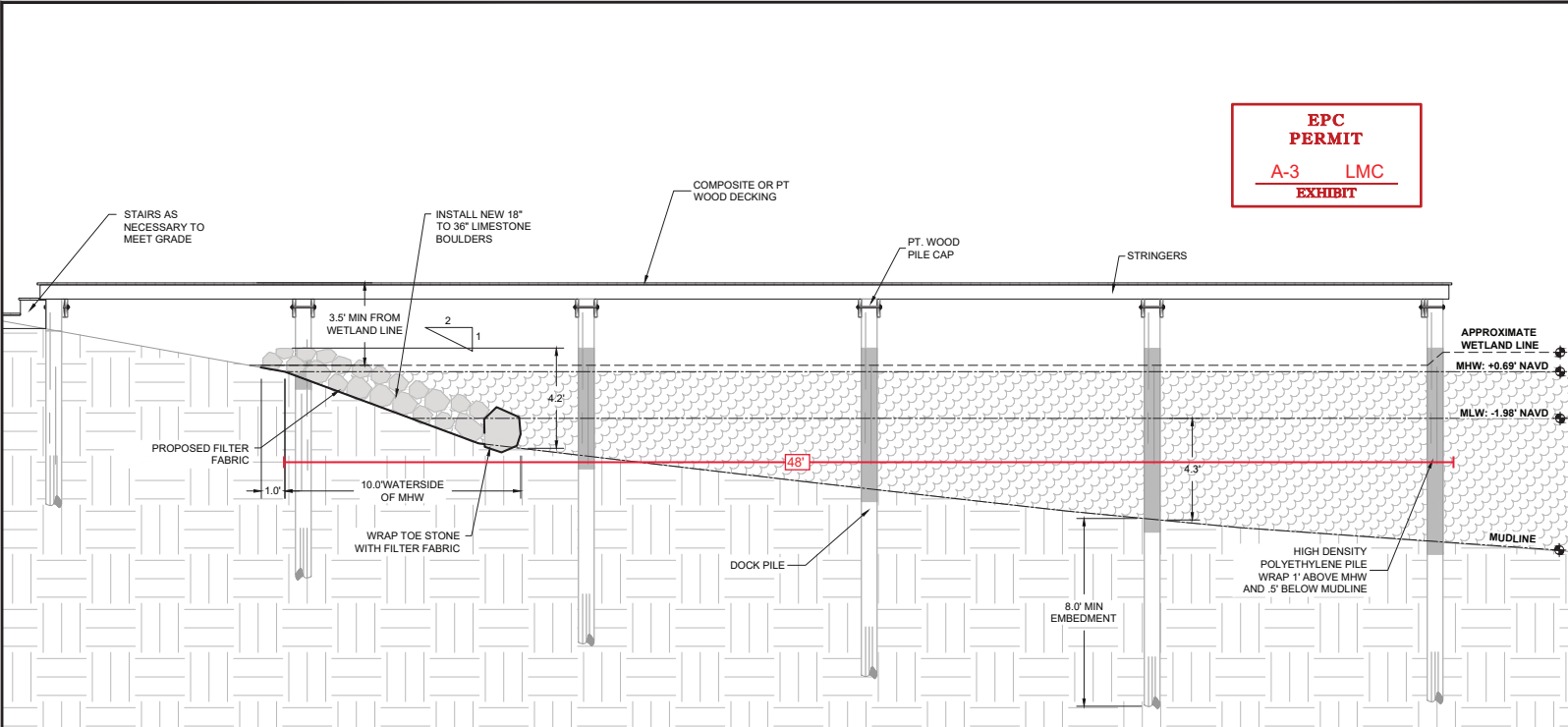
REVISED
 Replaces Drawings Received: June 7, 2023

PLAN VIEW 808 ALICIA AVE

77300
 NOT VALID UNLESS SIGNED & SEALED

	FOSTER CONSULTING FL PROFESSIONAL ENGINEER NO. 79708 <small>DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648</small> <small>FL CERTIFICATE OF AUTHORIZATION NO. 32050</small> <small>WWW.FOSTERCONSULTING.COM</small> <small>P. (727) 821-1949</small> <small>P.O. BOX 7370, ST. PETERSBURG, FL 33734</small>	REVISION ▲ ▲ ▲ ▲	DESCRIPTION 	REVISION DATE 	802-808 ALICIA AVE TAMPA, FLORIDA	DATE: 10/06/23 DRAWN BY: SL CHECKED BY: JTF SCALE: AS NOTED	FILE: 23296 SHEET: 01 OF 02 01
	NEW DOCK PLAN 808 ALICIA AVE.						

EPC PERMIT
A-3 LMC
EXHIBIT



77300
 NOT VALID UNLESS SIGNED & SEALED

REVISED
 Replaces Drawings Received: June 7, 2023

RECEIVED
 October 12, 2023
 EPC of H.C.
 WETLANDS

DOCK SECTION AT 808 ALICIA AVE.
 SCALE: 1/4" = 1'-0"

	FOSTER CONSULTING FL PROFESSIONAL ENGINEER NO. 79708 DE LIC. # 18618 - NJ LIC. # 24GE05181200 - TX LIC. # 133648 FL CERTIFICATE OF AUTHORIZATION NO. 32050 WWW.FOSTERCONSULTING.COM P. (727) 821-1948 P.O. BOX 7370, ST. PETERSBURG, FL 33734	REVISION ▲ ▲ ▲ ▲	DESCRIPTION 	REVISION DATE 	802-808 ALICIA AVE TAMPA, FLORIDA SECTION 808	DATE: 10/06/23 DRAWN BY: SL CHECKED BY: JTF SCALE: AS NOTED	FILE: 23296 REV: 02 OF 02 SHEET: 02 02

Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org
<noreply@fs2.formsite.com>
Sent: Wednesday, June 7, 2023 1:22 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14271897

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	charliepsfs@gmail.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Boat dock build out & rip rap
Owner First Name	Porfidio
Owner Last Name	Acevedo
Company Name & Title (if applicable)	Central Florida Wealth Builders LLC
Mailing Address	3601 W Spruce Street
City	Tampa
State	FL
Zip Code	33607
Owner Telephone Number(s)	813-355-6805
Fax	813-280-6192
Email Address	charliepsfs@gmail.com
Are you using an agent?	No
Site Street Address	808 Alicia Ave
City	Tampa
State	FL
Zip Code	33604

Folio Numbers(s) of Site 104973-0000 *

Parcel ID:

Section

Required 36

Township

Required 28

Range

Required 18

Name of Water Body / Waterway at Proposed Project Hillsborough River

Proposed: Private Single-Dwelling

Owner Central Florida Wealth Builders

Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable. Confirmed

Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable. Confirmed

A. Structures New Work

1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes) Dock

Item #232

Length of Shoreline (in linear feet)

(if applicable) 32 *

Number of Proposed Docks

(if applicable) 1

Number of Boat Slips / Lifts

(if applicable) 1

Length from OHW/MHW to Waterward Edge of Structure (in feet)

(if applicable) 48 *

Width of Structure (in feet)

(if applicable) 4 *

Mooring Water Depth at O/MLW (in feet) 4.3 *

Existing Structure Area (in square feet)

Proposed Structure Area (in square feet)

(if applicable) 192 *

Overall Area of Facility (in square feet)

(if applicable) 226 *

2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)

Rip-Rap

Item #237

Length of Shoreline at Site (in linear feet)

(if applicable) 32 *

Length of Work Proposed Along Shoreline (in linear feet)

(if applicable) 32 *

Seawall Vertical Height (in feet)

(if applicable) N/A *

Rip-Rap Slope - Horizontal Distance (in feet)

(if applicable) 11 *

Rip-Rap Slope - Vertical Height (in feet)

(if applicable) 4.2 *

Type of Material

(if applicable) natural stone

Dredged Volume (in cubic feet)

Filled Volume (in cubic feet)

To Begin On: 06/26/2023

To Be Completed By: 07/17/2023

Public Interest Comment Box: This project does not contradict with public interest.

1st Adjacent Property Owner Name(s) City of Tampa Public Works *

Mailing Address 306 East Jackson Street *

City Tampa

State FL

Zip Code 33602 *

2nd Adjacent Owner HIRSCHFELD JOSEPH J; HIRSCHFLED MARILYN C *

Mailing Address 17711 CURRIE FORD DRIVE *

City LUTZ *

State FL

Zip Code 33558 *

OWNER / APPLICANT ACKNOWLEDGEMENT I am the property owner and applicant.

B. CERTIFICATION OF SUFFICIENT REAL PROPERTY INTEREST AND AUTHORIZATION FOR STAFF TO ACCESS THE PROPERTY

By signing below, I certify that I, or the business organization, possess sufficient real property interest in or control over the land upon which the activities described in this application are proposed and that I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the EPC to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application. I authorize EPC, its agents, and assigns to enter the property as many times as may be necessary to make such review, inspection, and/ or sampling. Further, I agree to provide entry to the project site for such agents or personnel to monitor and inspect permitted work if a permit is granted.



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 6. Minor Work Permit No. 77779 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

December 5, 2023

Don Herbert (Sent via email)
Dherb32350@aol.com
3807 Lakeshore Drive
Tampa, FL 33604

Permittee:	DON AND JUDY HERBERT, TRUSTEES
Permit Number:	77779
Type of Permit:	AFTER-THE-FACT INTENT TO ISSUE MINOR WORK PERMIT FOR A MARGINAL DOCK AND RIP-RAP
Project Address:	3815 E. RIVERHILLS DRIVE, TAMPA, FL 33604
Issuance Date:	DECEMBER 30, 2023
Expiration Date:	DECEMBER 30, 2026

Dear Mr. Herbert:

This Intent to Issue the Minor Work Permit (Permit) for a marginal dock and rip-rap is issued to Don and Judy Herbert, Trustees (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until December 30, 2023.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to

submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Lynch for". The signature is fluid and cursive.

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcso.com
Brenda Greenwald - greenwaldb@hcpafl.org
City of Tampa - Construction Services Department - dave.jennings@tampagov.net
Shawn College - colleges@plancom.com
City of Tampa - Real Estate Department - Monica.Ammann@tampagov.net -
John.Archer@tampagov.net

cc: John and Rebekah Nault
Justin Starkey



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 77779

PERMITTEE: DON AND JUDY HERBERT, TRUSTEES
3807 LAKESHORE DRIVE
TAMPA, FL 33604

AGENT: N/A

PROJECT DESCRIPTION: AFTER-THE-FACT AUTHORIZATION OF A
MARGINAL DOCK AND APPROXIMATELY 150
LINEAR FEET OF RIP-RAP PURSUANT TO PERMIT
EXHIBITS AND CONDITIONS

PROJECT LOCATION: 3815 E. RIVER HILLS DRIVE, TAMPA, FL 33604 /
HILLSBOROUGH RIVER

DATE OF ISSUE: DECEMBER 30, 2023
EXPIRATION DATE: DECEMBER 30, 2026

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**



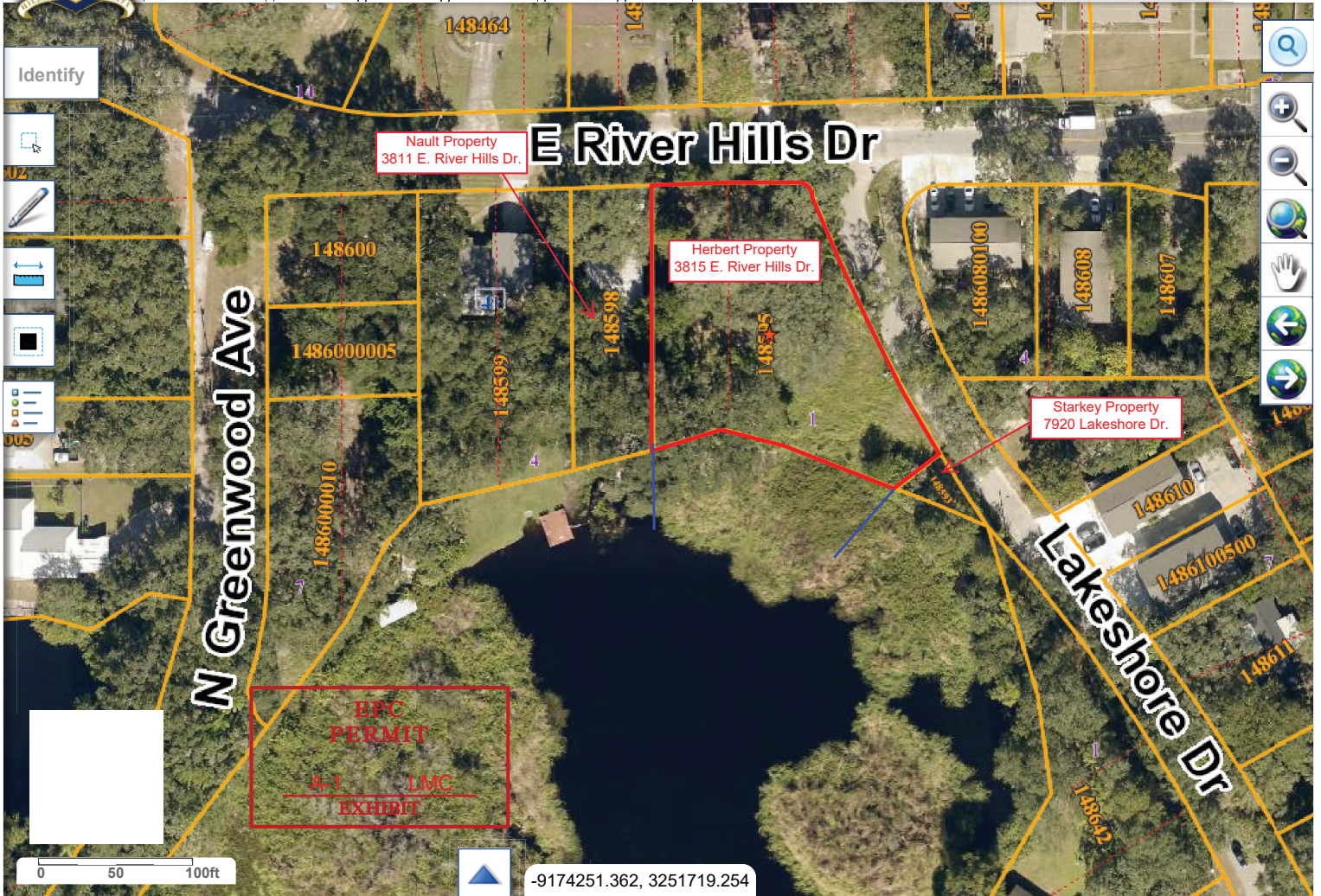
Bob Henriquez, CFA

Owner Name Address Folio Parcel Number

Base Maps Layers Sales Identify Tools Print

Clear Results

Search



Site Plan
Page 1 of 3
Scale 1/16" = 1'

R/L

Hillsborough Lake
200' To Island

1-3' Rip Rap

concrete rubble

concrete rubble



OHWL

TOB/WL

~71'

63'

Adjacent
Property
owner
Starkey
7921
Lakeshore
Drive

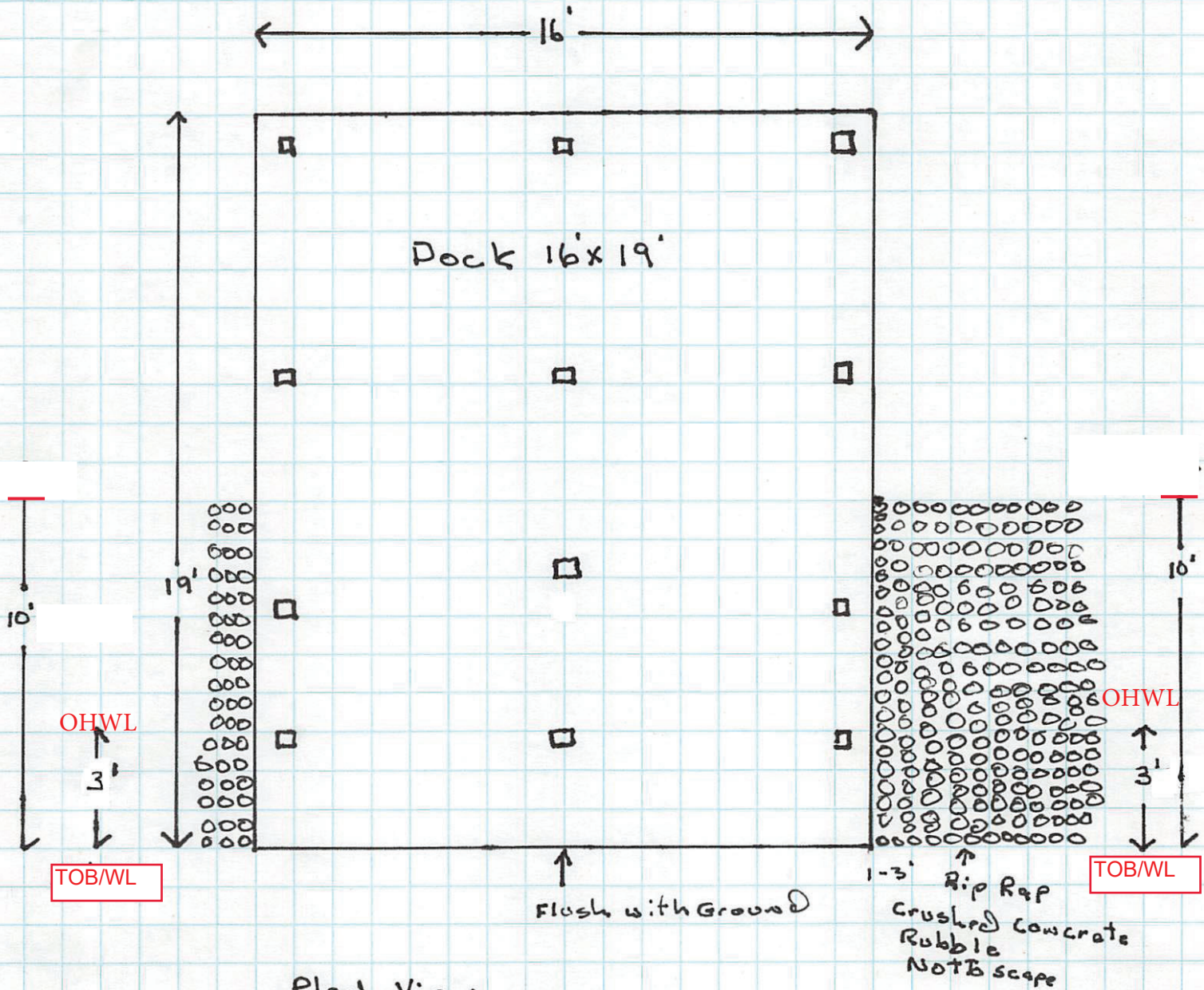
Applicant
Herbert
3815 River Hills Drive

Property
owner
Nault
3811 E
River Hills
Drive

**EPC
PERMIT**
A-2 LMC
EXHIBIT

77779

TOPS FORM 3314
© 2000 M. S. A.



Plan View

Scale $\frac{1}{4}'' = 1'$

Existing Dock

**EPC
PERMIT**

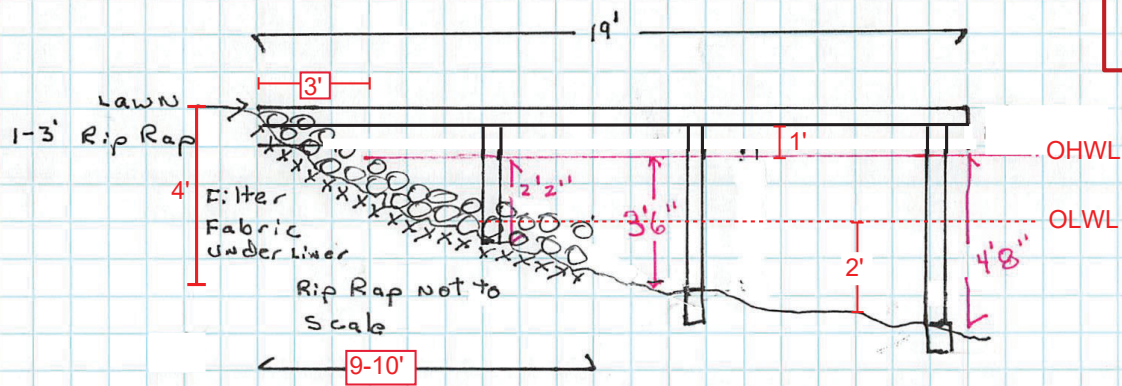
A-3 LMC
EXHIBIT

3815 E River Hills Drive

77779

Page 2 of 3

**EPC
PERMIT**
A-4 LMC
EXHIBIT



Side View

3815 E River Hills Drive

Page 3 of 3

77779

TOPS FORM 3314
Lined in U.S.A.

Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org
<noreply@fs2.formsite.com>
Sent: Sunday, August 27, 2023 3:43 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14481910

External email: Use caution when clicking on links, opening attachments or replying to this email.

AFTER-THE-FACT	\$650 Review Fee
Fee Amount:	<u>\$650 *</u>
ItemCode	MWP
ItemCode	MWP
Email Address to send Invoice to:	dherb32350@aol.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	repair dock. Install Rip Rap
Item #146	Request to be present at site inspection.
Owner First Name	Don
Owner Last Name	Herbert
Company Name & Title (if applicable)	Don A. Herbert and Judy Herbert Trust
Mailing Address	3807 Lakeshore Dr
City	TAMPA FL
State	FL
Zip Code	33604-5119
Owner Telephone Number(s)	18137489265
Email Address	dherb32350@aol.com

Are you using an agent?	No
Site Street Address	3815 E. River Hills Drive
City	TAMPA FL
State	FL
Zip Code	33604-5119
Folio Numbers(s) of Site	148595-0000
Parcel ID:	
Section	
Required	28
Township	
Required	28
Range	
Required	19
Name of Water Body / Waterway at Proposed Project	Hillsborough Lake
Proposed:	Private Single-Dwelling
Owner	City of Tampa
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect	Confirmed

manatees, as applicable.

A. Structures Maintenance / Replacement

1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes) Dock

Item #232

Length of Shoreline (in linear feet)

(if applicable) 150

Number of Proposed Docks

(if applicable) 1

Number of Boat Slips / Lifts

(if applicable) 0

Length from OHW/MHW to Waterward Edge of Structure (in feet)

(if applicable) 16

Width of Structure (in feet)

(if applicable) 16

Mooring Water Depth at O/MLW (in feet)

(if applicable)

Existing Structure Area (in square feet)

(if applicable) 304

Proposed Structure Area (in square feet)

(if applicable) 304

Overall Area of Facility (in square feet)

(if applicable) 304

2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes) Rip-Rap

Item #237

Length of Shoreline at Site (in linear feet)

(if applicable) 150

Length of Work Proposed Along Shoreline (in linear feet)

(if applicable) 150

Seawall Vertical Height (in feet)

(if applicable)

Rip-Rap Slope - Horizontal Distance (in feet)

(if applicable) 150

Rip-Rap Slope - Vertical Height (in feet)

(if applicable) 150

Type of Material

(if applicable) Clean Concrete Rubble

Dredged Volume (in cubic feet)

(if applicable) 0

Filled Volume (in cubic feet)

(if applicable) 0

To Begin On: 08/27/2023

To Be Completed By: 08/27/2023

Public Interest Comment Box: this project is not adverse to the public's interest and that it will not cause adverse environmental impacts

1st Adjacent Property Owner Name(s) NAULT JOHN; NAULT REBEKAH

Mailing Address 3811 E RIVER HILLS DR

City Tampa

State FL

Zip Code 33604

2nd Adjacent Owner STARKEY JUSTIN

Mailing Address 7921 LAKESHORE DR



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 7. Minor Work Permit No. 78105 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 78105

PERMITTEE: TIMOTHY AND PATRICIA GANEY
6104 RIVER TERRACE
TAMPA, FL 33604

AGENT: BAY DOCK ENTERPRISE
KEVIN MCNAMARA
9002 W HILLSBOROUGH AVE,
TAMPA, FL 33615

PROJECT DESCRIPTION: INSTALLATION OF APPROXIMATELY 55 LINEAR
FEET OF RIP-RAP PURSUANT TO PERMIT
EXHIBITS AND CONDITIONS

PROJECT LOCATION: NO PHYSICAL ADDRESS - FOLIO 162211-0010
RIVER TERRACE, TAMPA, FL 33604/ HILLSBOROUGH
RIVER

DATE OF ISSUE: JANUARY 8, 2024
EXPIRATION DATE: JANUARY 8, 2027

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

FW: MWP09 - Minor Work Permit Application Result #14654964

Gile, Michael <gilem@epchc.org>

Thu 10/26/2023 4:57 PM

To: Pacelko, Alex <PacelkoA@epchc.org>

Alex,

This one will be yours. SQL 78105. They have the property address listed as 6104 River Terrace on the application, but it is actually for the property to the west, which has no property address but which is also owned by Mr. Ganey.

During your site visit, please make sure to document any evidence of ongoing erosion. Also, please document the change in elevation from the top-of-bank to the toe-of-slope if possible. Based on their plans, it looks like they are proposing rip-rap which does meet the 2:1 criteria.

Thank you,
Michael

From: noreply@fs2.formsite.com <noreply@fs2.formsite.com>

Sent: Monday, October 23, 2023 2:55 PM

To: Gile, Michael <gilem@epchc.org>

Subject: MWP09 - Minor Work Permit Application Result #14654964

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	chantel@baydock.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Installation of approximately 55 linear feet of rip-rap for shoreline renourishment.
Owner First Name	Timothy & Patricia
Owner Last Name	Ganey
Mailing Address	6104 River Terrace
City	Tampa
State	FL
Zip Code	33604

Owner Telephone Number(s)	6782966902
Email Address	tim@bonepharm.com
Are you using an agent?	Yes
Agent First Name	Kevin
Agent Last Name	McNamara
Company Name (if applicable)	Bay Dock Enterprise
Street Address	9002 W Hillsborough Ave
City	Tampa
State	FL
Zip Code	33615
Telephone Number(s)	813-855-1672
Email Address	chantel@baydock.com
Site Street Address	No physical address - lot west of 6104 River Terrace
City	Tampa
State	FL
Zip Code	33604
Folio Numbers(s) of Site	162211-0000
Parcel ID:	
Section	
Required	35
Township	
Required	28
Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	City of Tampa
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed

Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	Maintenance / Replacement
2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)	Rip-Rap
Item #237	
Length of Shoreline at Site (in linear feet)	
(if applicable)	55.01
Length of Work Proposed Along Shoreline (in linear feet)	
(if applicable)	55
Seawall Vertical Height (in feet)	
Rip-Rap Slope - Horizontal Distance (in feet)	
(if applicable)	10
Rip-Rap Slope - Vertical Height (in feet)	
(if applicable)	5
Type of Material	limestone and flint rock
Dredged Volume (in cubic feet)	
Filled Volume (in cubic feet)	
To Begin On:	12/04/2023
To Be Completed By:	12/14/2023
Enter any additional remarks for the project.	The proposed work will take place on the adjoining property that is owned by Mr. Ganey. The property appraiser lists the lot as vacant residential.
Public Interest Comment Box:	Substantial boat wake in the area has impacted the existing rip-rap and shoreline. The proposed rip-rap renourishment will prevent erosion and provide stabilization to the shoreline.
1st Adjacent Property Owner Name(s)	Iredellia LLC
Mailing Address	6104 River Terrace
City	Tampa
State	FL

Zip Code	33604
2nd Adjacent Owner	6100 River Terrace LLC
Mailing Address	3703 W Gray St
City	Tampa
State	FL
Zip Code	33609
OWNER / APPLICANT ACKNOWLEDGEMENT	I am an agent filling out the application on behalf of the owner.
Please download, complete and sign the Owner's Authorization Form. Then upload the signed authorization document here:	EPC. Bay DOCKS.Signed.pdf (90 KB)
Project Drawings uploads: (Site Plan, Plan Review, Profile)	Ganey Tim - Rip Rap Checklist Plans.pdf (1.53 MB)

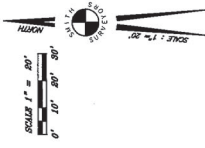
This email was sent to gilem@epchc.org as a result of a form being completed.

[Click here](#) to report unwanted email.

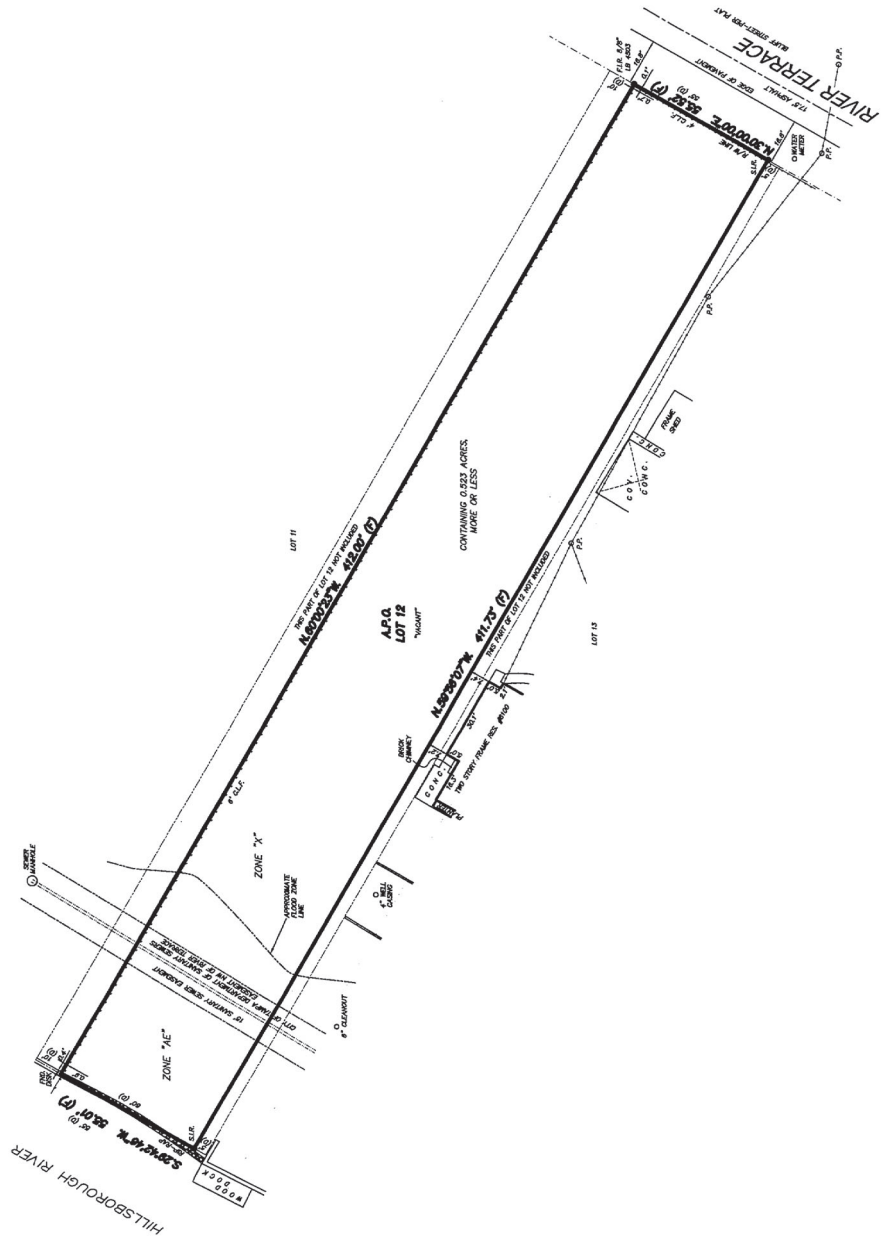


BOUNDARY SURVEY

SECTION 35, TOWNSHIP 28 SOUTH, RANGE 18 EAST HILLSBOROUGH COUNTY, FLORIDA



LEGAL DESCRIPTION:
 LOT 11 & LOT 12 TO BEYOND THE WEST 6 FEET
 THEREOF, BLOCK 14, HILLSBOROUGH, SUBJECT TO
 EASEMENT TO THE CITY OF TAMPA, ACCORDING TO THE MAP OR
 RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, MADE FOR PUBLIC
 RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.



CONTAINING 0.233 ACRES,
 MORE OR LESS

DAVID L. SMITH
 SURVEYING AND MAPPING, INC.
 1200 S. HIGHLAND AVENUE
 TAMPA, FLORIDA 33606
 PHONE (813) 833-7800 FAX (813) 833-7848



REMARKS ARE BASED ON THE INSTRUMENTALLY PLAT LINE OF RIVER TERRACE AS 'KNOWN', ASSUMED

SUPPLEMENTARY NOTES:
 1. THIS SURVEY WAS CONDUCTED ON THE DATE SHOWN ON THE PLAT. THE SURVEYOR HAS VISUALLY INSPECTED THE SITE AND FOUND IT TO BE IN ACCORDANCE WITH THE INSTRUMENTAL RECORD. THE SURVEYOR HAS NOT CONDUCTED ANY OTHER SURVEYS ON THIS SITE AND HAS NOT BEEN ADVISED BY ANYONE THAT THERE ARE ANY OTHER SURVEYS ON THIS SITE. THE SURVEYOR HAS NOT CONDUCTED ANY OTHER SURVEYS ON THIS SITE AND HAS NOT BEEN ADVISED BY ANYONE THAT THERE ARE ANY OTHER SURVEYS ON THIS SITE.

DATE	12/13/03
TIME	09:00-05:00
BY	DAVID L. SMITH
FOR	DAVID L. SMITH SURVEYING AND MAPPING, INC.



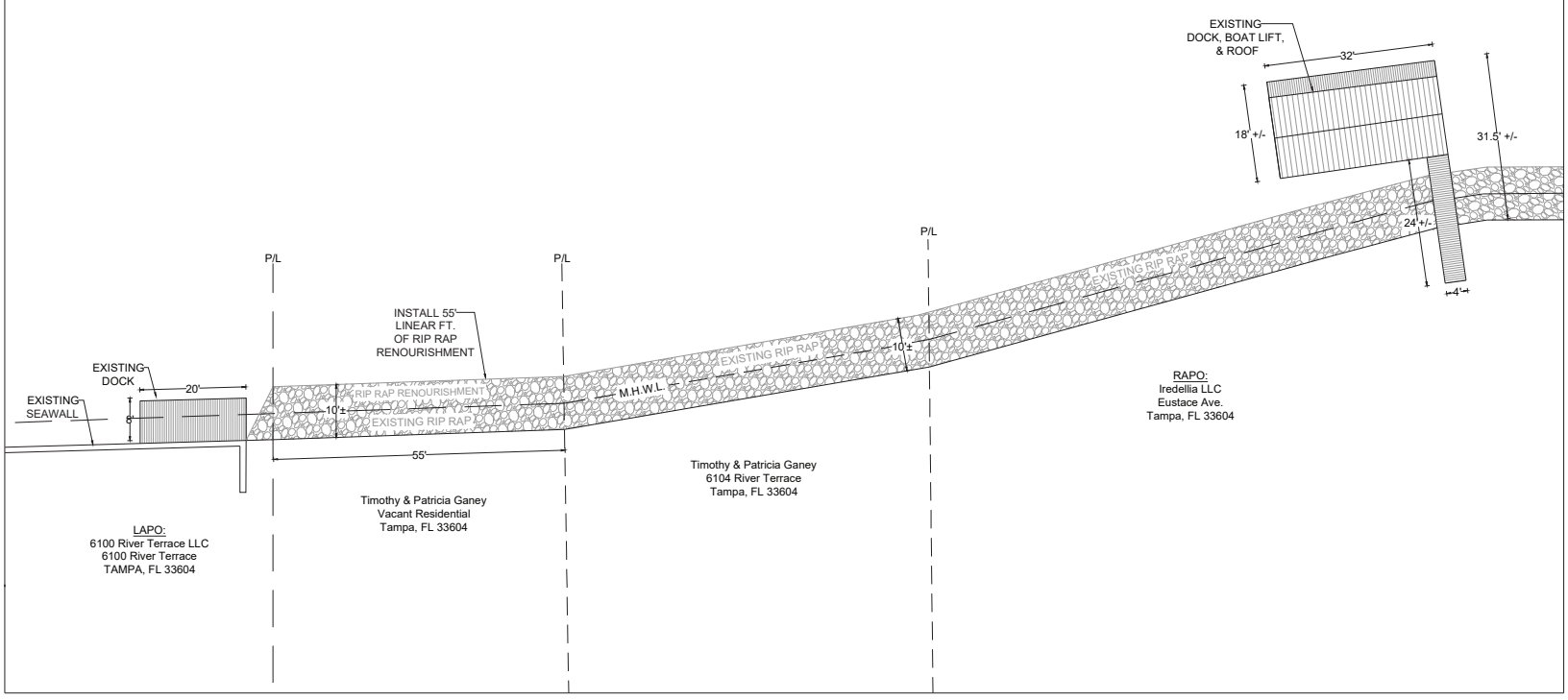
9002 W. Hillsborough Ave.
Tampa, FL 33615
Phone: 813-855-1672
Email: RobinC@baydock.com

**RIP RAP MATERIAL SPECIFICATIONS - LIMESTONE AND FLINT ROCK
RIP RAP SIZE 18"- 36"**

DATE: 12-13-23
SCALE: NTS

Timothy & Patricia Ganey
Vacant Residential - River Terrace
Tampa, FL 33604

**EPC
PERMIT
A-1 AGP
EXHIBIT**





9002 W. Hillsborough Ave.
Tampa, FL 33615
Phone: 813-855-1672
Email: RobinC@baydock.com

RIP RAP MATERIAL SPECIFICATIONS - LIMESTONE AND FLINT ROCK
RIP RAP SIZE 18"- 36"

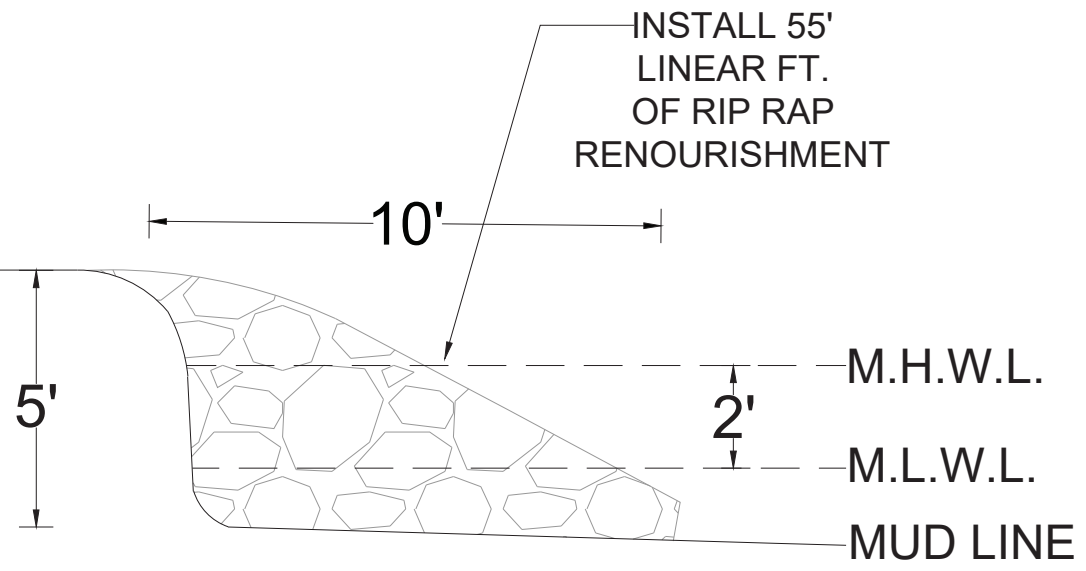
DATE: 12-13-23
SCALE: NTS

Timothy & Patricia Ganey
Vacant Residential - River Terrace
Tampa, FL 33604

EPC
PERMIT

A-2 AGP

EXHIBIT





**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 8. Minor Work Permit No. 78173 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

January 3, 2024

Michael Roberts and Camille Alfonso (Sent via email)

camillealfonso@gmail.com

4305 N. River View Avenue

Tampa, FL 33607

Permittee: **MICHAEL ROBERTS AND CAMILLE ALFONSO**
Permit Number: **78137**
Type of Permit: **INTENT TO ISSUE MINOR WORK PERMIT FOR A NEW DOCK, ONE NON-COVERED BOAT LIFT, AND RIP-RAP RENOURISHMENT**
Project Address: **4305 N. RIVER VIEW AVENUE, TAMPA, FL 33607**
Issuance Date: **JANUARY 28, 2024**
Expiration Date: **JANUARY 28, 2027**

Dear Michael Roberts and Camille Alfonso:

This Intent to Issue the Minor Work Permit (Permit) for a new dock, one non-covered boat lift, and rip-rap renourishment is issued to Michael Roberts and Camille Alfonso (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until January 28, 2024.

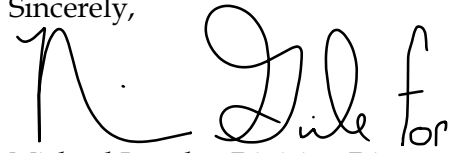
The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit

addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink that reads "N. Lynch for". The signature is written in a cursive style.

Michael Lynch - Division Director
EPC Wetlands Division

lmc/mpg
Enclosures

ec:

Corporal Marc Wilder - mwilder@teamhcsso.com

Brenda Greenwald - greenwaldb@hcpafl.org

Robert Barron - spgp@usace.army.mil

James Gres - whatsupdocktampa@gmail.com

City of Tampa - Construction Services Department - dave.jennings@tampagov.net

cc: Travis Lanning Roberts and Vaneisha Mahtani Roberts
Michael and Cynthia Mauricio



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 78173

PERMITTEE: MICHAEL ROBERTS AND CAMILLE ALFONSO
4305 N. RIVER VIEW AVENUE
TAMPA, FL 33607

AGENT: ANCHOR MARINE & BOATLIFT CO.
JAMES GRES
4323 W. BAY TO BAY BLVD.
TAMPA, FL 33629

PROJECT DESCRIPTION: CONSTRUCTION OF A DOCK WITH ONE NON-COVERED BOAT LIFT AND INSTALLATION OF APPROXIMATELY 50 LINEAR FEET OF RIP-RAP RENOURISHMENT PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: 4305 N. RIVER VIEW AVENUE, TAMPA, FL 33607 /
HILLSBOROUGH RIVER

DATE OF ISSUE: JANUARY 28, 2024

EXPIRATION DATE: JANUARY 28, 2027

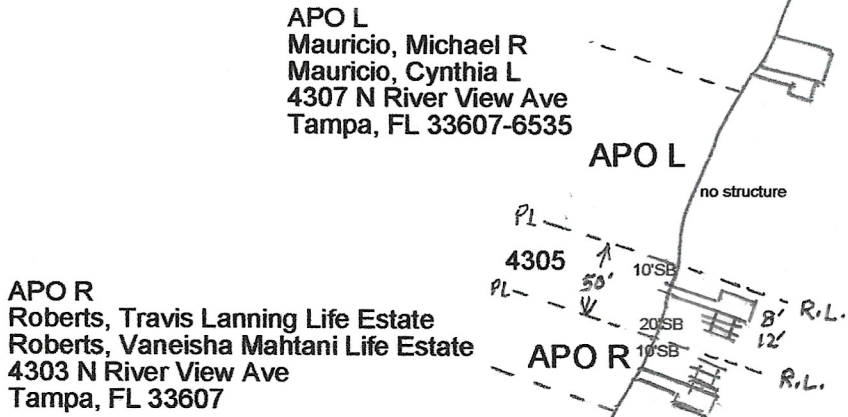
**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

VICINITY/SITE

Anchor Marine & Boatlift Co
813 902-0600

Roberts / Alfonso
4305 N River View Ave
Tampa, FL 33607

**EPC
PERMIT**
A-1 LMC
EXHIBIT



RECEIVED

November 27, 2023

EPC of H.C.
WETLANDS

REVISED

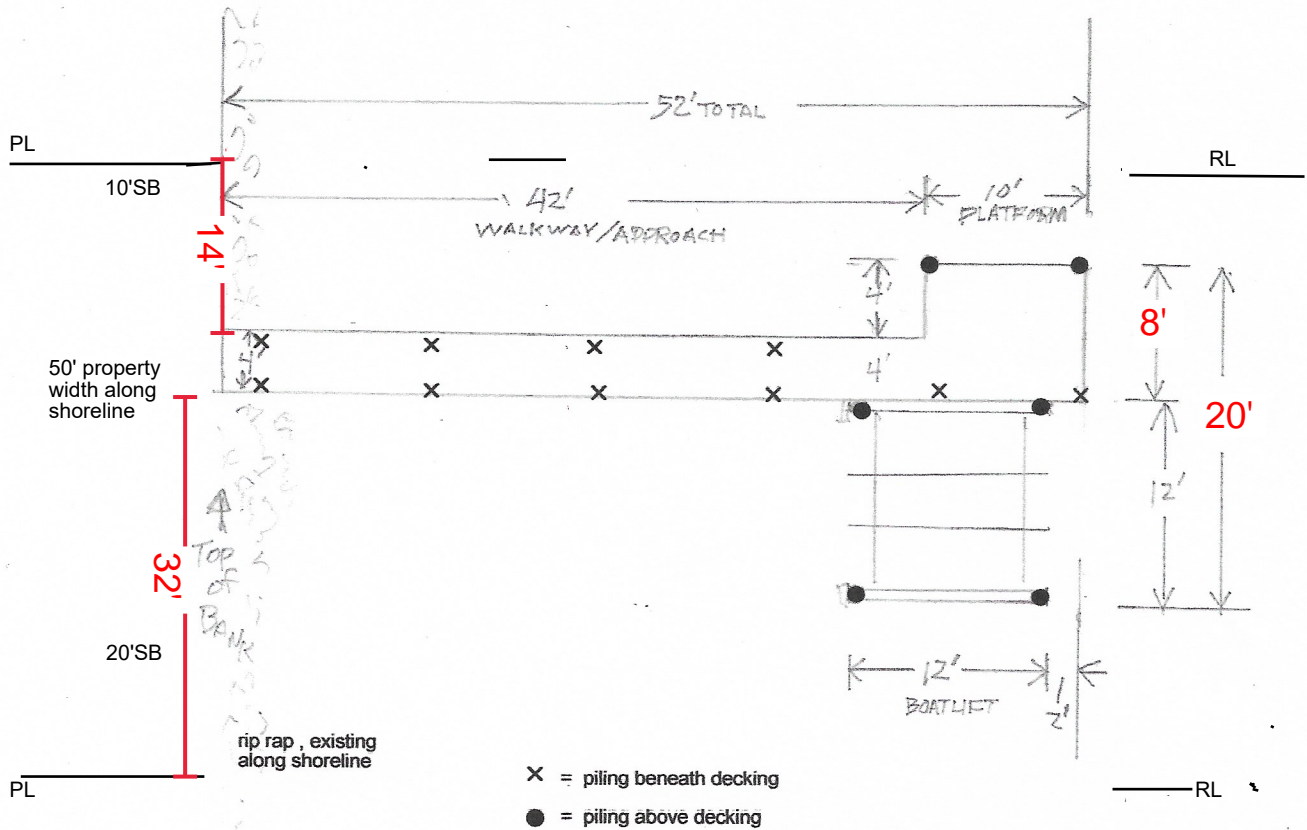
Replaces Page Received: Nov. 3, 2023

PLAN VIEW

Anchor Marine & Boatlift Co
813 902-0600

Roberts / Alfonso
4305 N River View Ave
Tampa, FL 33607

**EPC
PERMIT
A-2 LMC
EXHIBIT**



RECEIVED

November 27, 2023

EPC of H.C.
WETLANDS

REVISED

Replaces Page Received: Nov. 3, 2023

78173

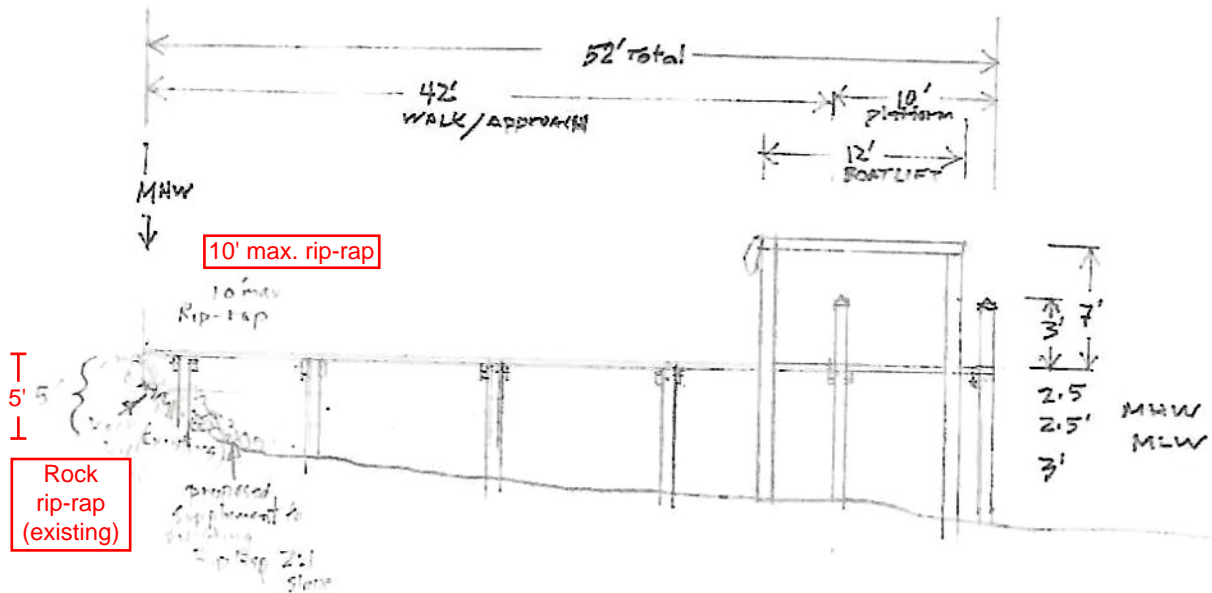
REF 78173

PROFILE VIEW

Anchor Marine & Boatlift Co
813 902-0600

Roberts / Alfonso
4305 N River View Ave
Tampa, FL 33607

**EPC
PERMIT
A-3 LMC
EXHIBIT**



REVISED

Replaces Page Received: Nov. 3, 2023

RECEIVED
December 28, 2023

EPC of H.C.
WETLANDS

Rip-rap material: clean limestone rock 1-3' dia.

Notes added for clarity by EPC staff LMC

Castillo, Laura

From: noreply@fs2.formsite.com on behalf of epcinfo at epchc.org <noreply@fs2.formsite.com>
Sent: Thursday, November 2, 2023 8:42 PM
To: Castillo, Laura
Subject: MWP09 - Minor Work Permit Application Result #14683157

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	whatsupdocktampa@gmail.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	Construct 52'dock;4'x42'walk/approach to a 8'wide x10'out terminus/platform and adjacent 4 piling boatlift. <u>Renourish rip-rap. *</u>
Owner First Name	Michael G / Camille M
Owner Last Name	Roberts / Alfonso
Mailing Address	4305 N River View Ave
City	Tampa
State	FL
Zip Code	33607
Owner Telephone Number(s)	813 504-0270
Email Address	camillealfonso@gmail.com
Are you using an agent?	Yes
Item #148	Request to be present at site inspection.

Agent First Name	JIMMY
Agent Last Name	GRES
Company Name (if applicable)	Anchor Marine & Boatlift Co
Street Address	4323 w Bay to Bay Blvd
City	Tampa
State	FL
Zip Code	33629
Telephone Number(s)	8139188290
Email Address	whatsupdocktampa@gmail.com
Site Street Address	4305 N River View Ave
City	tampa
State	FL
Zip Code	33607
Folio Numbers(s) of Site	110233-0000
Parcel ID:	
Section	
Required	11
Township	
Required	29
Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling

Owner	City of Tampa
1st Permit Number	none
2nd Permit Number	none
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	New Work
1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes)	Dock
Item #232	
Length of Shoreline (in linear feet)	
(if applicable)	50'
Number of Proposed Docks	
(if applicable)	1
Number of Boat Slips / Lifts	
(if applicable)	1
Length from OHW/MHW to Waterward Edge of Structure (in feet)	
(if applicable)	52'
Width of Structure (in feet)	
(if applicable)	20'
Mooring Water Depth at O/MLW (in feet)	
(if applicable)	3'

Existing Structure Area (in square feet)	
(if applicable)	0
Proposed Structure Area (in square feet)	
(if applicable)	<u>392 *</u>
Overall Area of Facility (in square feet)	
(if applicable)	<u>392 *</u>
To Begin On:	12/29/2023
To Be Completed By:	01/31/2024
Public Interest Comment Box:	This project will not adversely impact the Jurisdictional Lands and the associate water body.M
1st Adjacent Property Owner Name(s)	Mauricio, Michael R / Mauricio, Cynthia L
Mailing Address	4307 N River View Ave
City	Tampa
State	FL
Zip Code	33607
2nd Adjacent Owner	Roberts, Travis Lanning Life Estate/ Roberts, Vaneisha Mahtani Life Estate
Mailing Address	4303 N River View Ave
City	Tampa
State	FL
Zip Code	33607
OWNER / APPLICANT ACKNOWLEDGEMENT	I am an agent filling out the application on behalf of the owner.
Please download, complete and sign the Owner's Authorization Form. Then upload the signed authorization document here:	EPC owner ROBERTS 4305 N river view Document 2023-09-27 151947.pdf (666 KB)

2) Seawalls, Rip-Rap, Revetments, or Other Shoreline Stabilization (check applicable boxes)

- Seawall
- Rip-Rap
- Revetment
- Other Shoreline Stabilization

	(if applicable)
Length of Shoreline at Site (in linear feet)	50'
Length of Work Proposed Along Shoreline (in linear feet)	50'
Seawall Vertical Height (in feet)	
Rip-Rap Slope - Horizontal Distance (in feet)	10
Rip-Rap Slope - Vertical Height (in feet)	5
Type of Material	rock , limestone
Dredged Volume (in cubic feet)	
Filled Volume (in cubic feet)	

RECEIVED
 November 27, 2023
 EPC of H.C.
 WETLANDS

00480

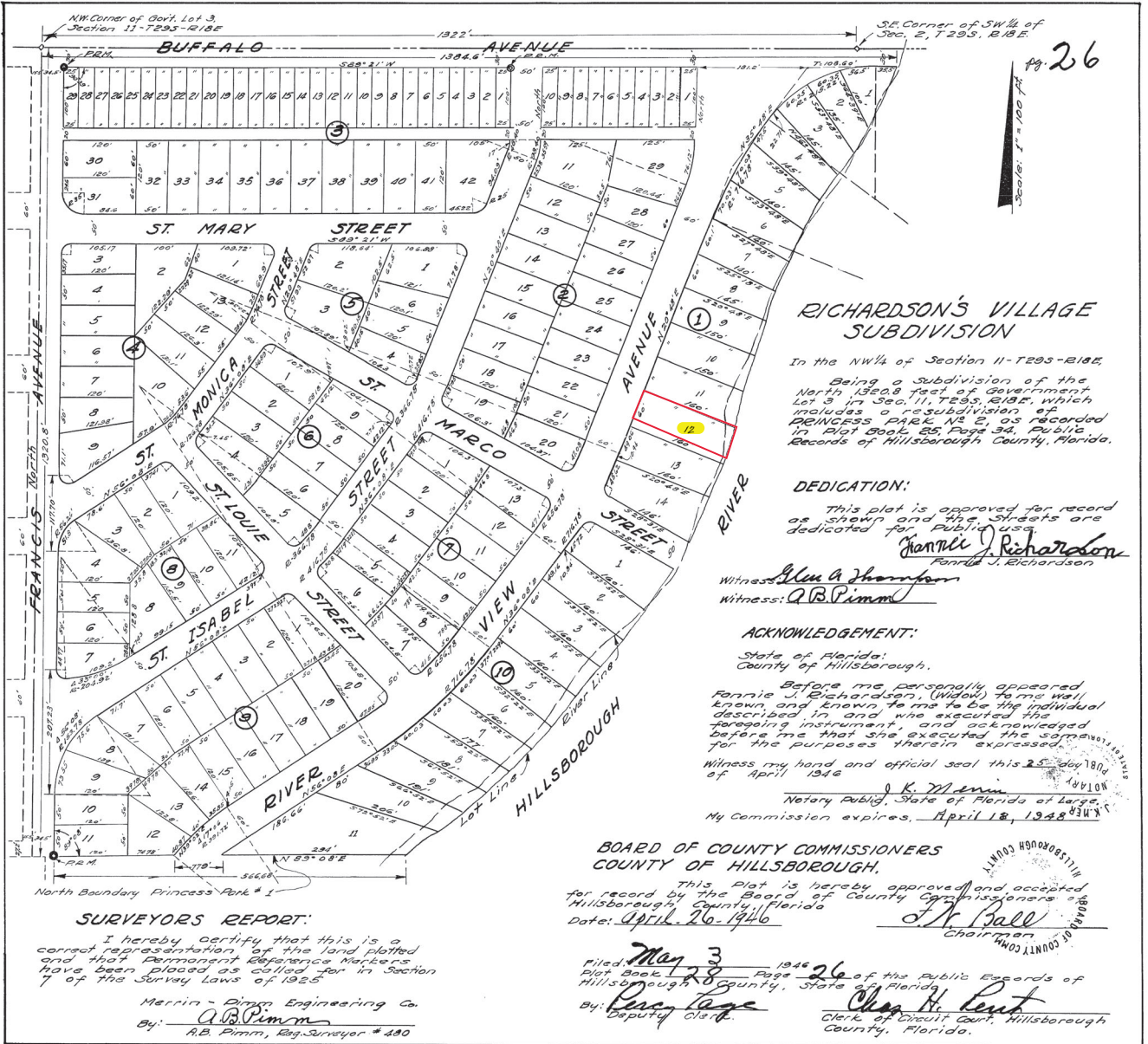
RECEIVED

1946 MAY -3 AM 11:31

CLERK OF DISTRICT COURT
HILLSBOROUGH COUNTY, FLA.

Plot Book 28

pg 26



RICHARDSON'S VILLAGE SUBDIVISION

In the NW 1/4 of Section 11-T295-2185
 Being a Subdivision of the North 1320.8 feet of Government Lot 3 in Sec. 11, T295, R18E, which includes a resubdivision of Princess Park, N 1/2, as recorded in Plot Book 25, Page 34, Public Records of Hillsborough County, Florida.

DEDICATION:

This plat is approved for record as shown and the streets are dedicated for public use.

Fannie J. Richardson
 Fannie J. Richardson

Witness: *Alan A. Thompson*
 Witness: *A.B. Pinner*

ACKNOWLEDGEMENT:

State of Florida,
 County of Hillsborough.

Before me personally appeared Fannie J. Richardson, (Widow) to me well known, and known to me to be the individual described in and who executed the foregoing instrument, and acknowledged before me that she executed the same for the purposes therein expressed.

Witness my hand and official seal this 25 day 1946 of April 1946
J. K. McMan
 Notary Public, State of Florida at Large,
 My Commission expires, April 18, 1948

BOARD OF COUNTY COMMISSIONERS COUNTY OF HILLSBOROUGH.

This Plat is hereby approved and accepted for record by the Board of County Commissioners of Hillsborough County, Florida
 Date: April 26, 1946
J. K. Ball
 Chairman

SURVEYORS REPORT:

I hereby certify that this is a correct representation of the land plotted and that Permanent Reference Markers have been placed as called for in Section 7 of the Survey Laws of 1925.

Metric-Diman Engineering Co.
 By: *A.B. Pinner*
 A.B. Pinner, Reg. Surveyor # 480

Filed May 3 1946 Page 26 of the Public Records of Hillsborough County, State of Florida
 By: *Clayton*
 Deputy Clerk
Clayton
 Clerk of District Court, Hillsborough County, Florida.



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 9. Minor Work Permit No. 78298 (EPC)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602

COMMISSION

Gwendolyn “Gwen” W. Myers CHAIR
Harry Cohen VICE-CHAIR
Donna Cameron Cepeda
Ken Hagan
Pat Kemp
Michael Owen
Joshua Wostal



DIRECTORS

Janet D. Lorton EXECUTIVE DIRECTOR
Elaine S. DeLeeuw ADMIN DIVISION
Sam Elrabi, P.E. WATER DIVISION
Diana M. Lee, P.E. AIR DIVISION
Michael Lynch WETLANDS DIVISION
Rick Muratti, Esq. LEGAL DEPT
Steffanie L. Wickham WASTE DIVISION

January 19, 2024

Andrew Rogers (Sent via email)

andy@arc-fl.com

2424 W. Tampa Bay Blvd, Apt F204

Tampa, FL 33607

Permittee:	ANDREW ROGERS
Permit Number:	78298
Type of Permit:	INTENT TO ISSUE MINOR WORK PERMIT FOR CONSTRUCTION OF A NEW DOCK AND ONE NON-COVERED BOAT LIFT
Project Address:	4204 N. RIVERSIDE DR., TAMPA, FL 33603
Issuance Date:	FEBRUARY 13, 2024
Expiration Date:	FEBRUARY 13, 2027

Dear Andrew Rogers:

This Intent to Issue the Minor Work Permit (Permit) for construction of a new dock and non-covered boat lift is issued to Andrew Rogers (Permittee) by the Environmental Protection Commission of Hillsborough County (EPC) on behalf of the Tampa Port Authority (TPA). The TPA delegated this regulatory authority to the EPC in 2009. Please review this document and attachments carefully, paying particular attention to the conditions and approved drawings. **NO CONSTRUCTION ACTIVITY SHALL OCCUR** in wetlands or other surface waters until February 13, 2024.

The EPC reserves the right to stop this Permit from becoming effective under any of the following circumstances: (1) if the EPC revokes the Permit pursuant to Section 1-2.052, Rules of the EPC; (2) if a “Notice of Appeal” or “Request for Extension of Time to File a Notice of Appeal” under Part IV of Section 1-2, Rules of the EPC (See NOTICE OF RIGHTS) is timely filed; or (3) if any applicable Federal governmental agency objects to verification that the activity qualifies for the United States Army Corp’s of Engineers’ State Programmatic General Permit. The Permittee shall be noticed in writing if any of these occur. No construction activity may occur until such time as the issue is resolved and the Permit becomes effective. It is possible in some circumstances for the Permit to be challenged after the initial construction date. Please contact the EPC Legal Department if you have any questions regarding this process.

This Permit authorizes the above named permittee, hereinafter referred to as the Permittee, to perform the described work on wetlands and/or other surface waters, on or adjacent to

submerged lands under the regulatory or proprietary jurisdiction of the TPA. This Permit addresses activities regulated under the TPA Submerged Lands Management Rules and EPC Wetland Rule Chapter 1-11, Rules of the EPC. This work shall be accomplished in accordance with the general and specific conditions contained in this Permit. This Permit shall expire on the date noted in this Permit and shall be valid until it expires or such time as it is amended, replaced, or revoked in writing.

Acceptance of this Permit constitutes acceptance of all the attached conditions and the project drawings. Compliance with all conditions is necessary for the Permit to be considered valid. Should you have objections to any of these conditions, please see the attached **NOTICE OF RIGHTS** detailing the appeal process.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Lynch". The signature is fluid and cursive, with the first name "Michael" and last name "Lynch" clearly distinguishable.

Michael Lynch - Division Director
EPC Wetlands Division

Iam/ mpg
Enclosures
ec:

Corporal Marc Wilder - mwilder@teamhcso.com

Brenda Greenwald - greenwaldb@hcpafl.org

Robert Barron - spgp@usace.army.mil

Waterline Construction - Stiles Byrne - Jennifer@1waterline.com

City of Tampa - Construction Services Department - dave.jennings@tampagov.net

cc: Viasolve LLC
Daniel and Claudia Gorman



Janet D. Lorton, Executive Director

PERMIT

PERMIT NUMBER: 78298

PERMITTEE: ANDREW ROGERS
2424 W. TAMPA BAY BLVD, APT F204
TAMPA, FL 33607

AGENT: WATERLINE CONSTRUCTION
STILES BYRNE
4408 N. GRADY AVE
TAMPA, FL 33614

PROJECT DESCRIPTION: CONSTRUCTION OF A NEW DOCK AND NON-COVERED BOATLIFT PURSUANT TO PERMIT EXHIBITS AND CONDITIONS

PROJECT LOCATION: 4204 N. RIVERSIDE DR., TAMPA, FL 33603 /
HILLSBOROUGH RIVER

DATE OF ISSUE: FEBRUARY 13, 2024

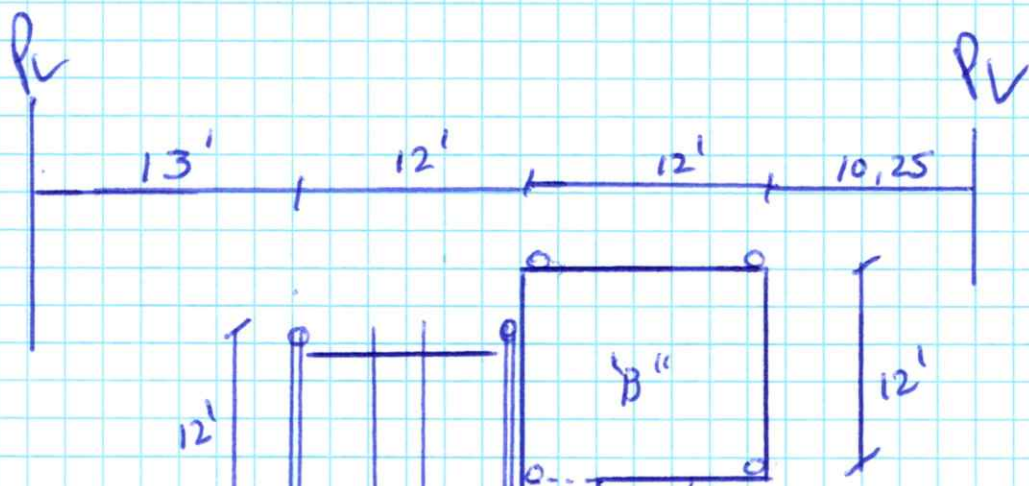
EXPIRATION DATE: FEBRUARY 13, 2027

**THIS PERMIT CARD SHALL BE
PROMINENTLY DISPLAYED AT THE
WORKSITE. FOR QUESTIONS CALL THE
WETLANDS DIVISION (813) 627-2600.**

EPC
 PERMIT
 A-1 IAM
 EXHIBIT

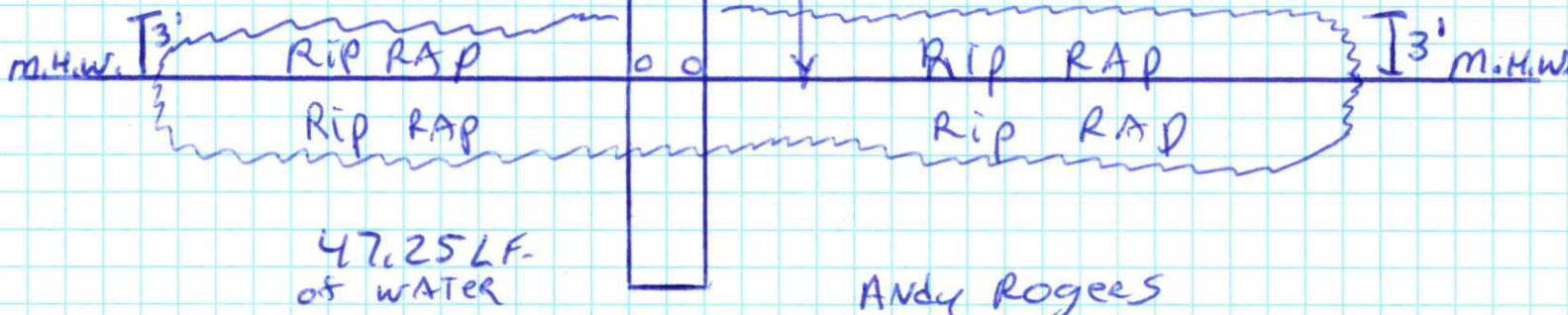
PLAN VIEW
 1 of 3

SCALE
 1" = 10'



284 DOCK

A = 4' x 36'	144
B = 12' x 12'	144
LIFT 12' x 12'	144
<hr/>	
TOTAL	432



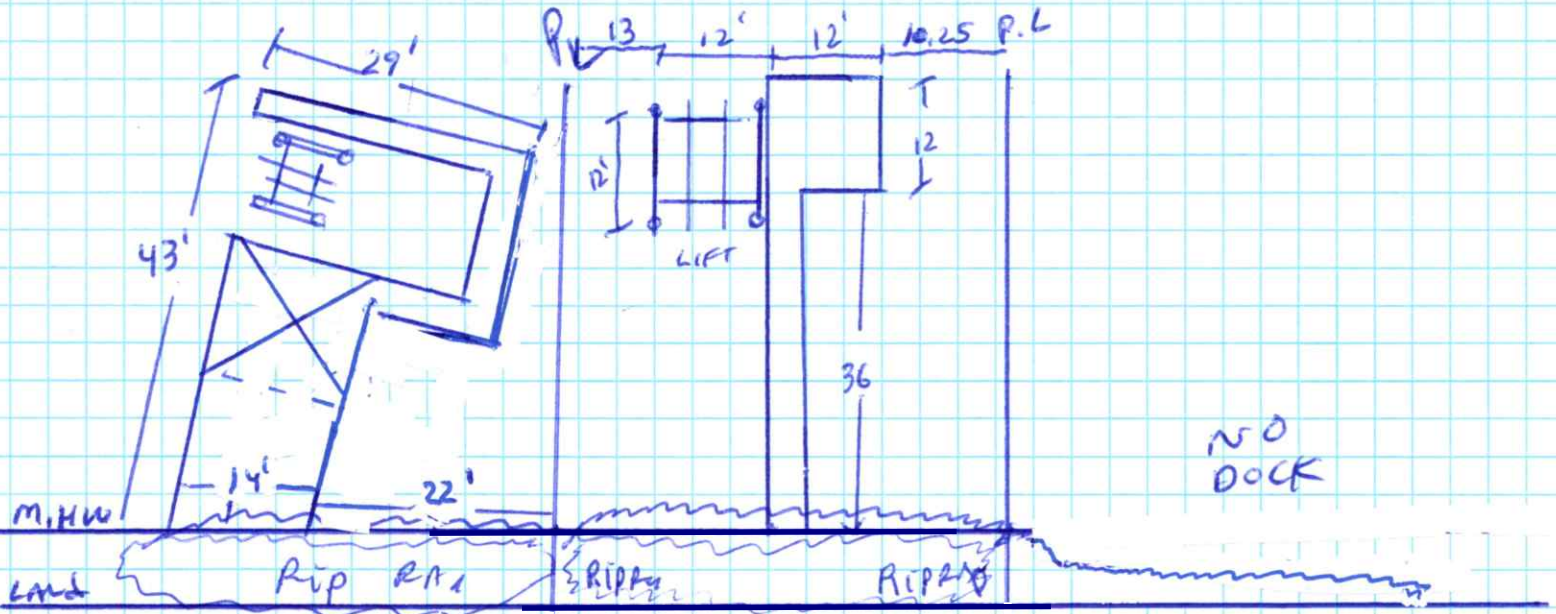
Andy Rogees
 4204 N. Riverside
 TAMPA FL 33603

EPC
PERMIT

A-2 IAM

EXHIBIT

OVER view
2 of 3



VIASolve LLC
4124
N RIVERSIDE
TAMPA FL
33603

47.25 LF.
Andy Rogers
4204 N. Riverside
TAMPA FL 33603

DAN + CLAUDIA
GORMAN
4206 N. Riverside
TAMPA FL 33603

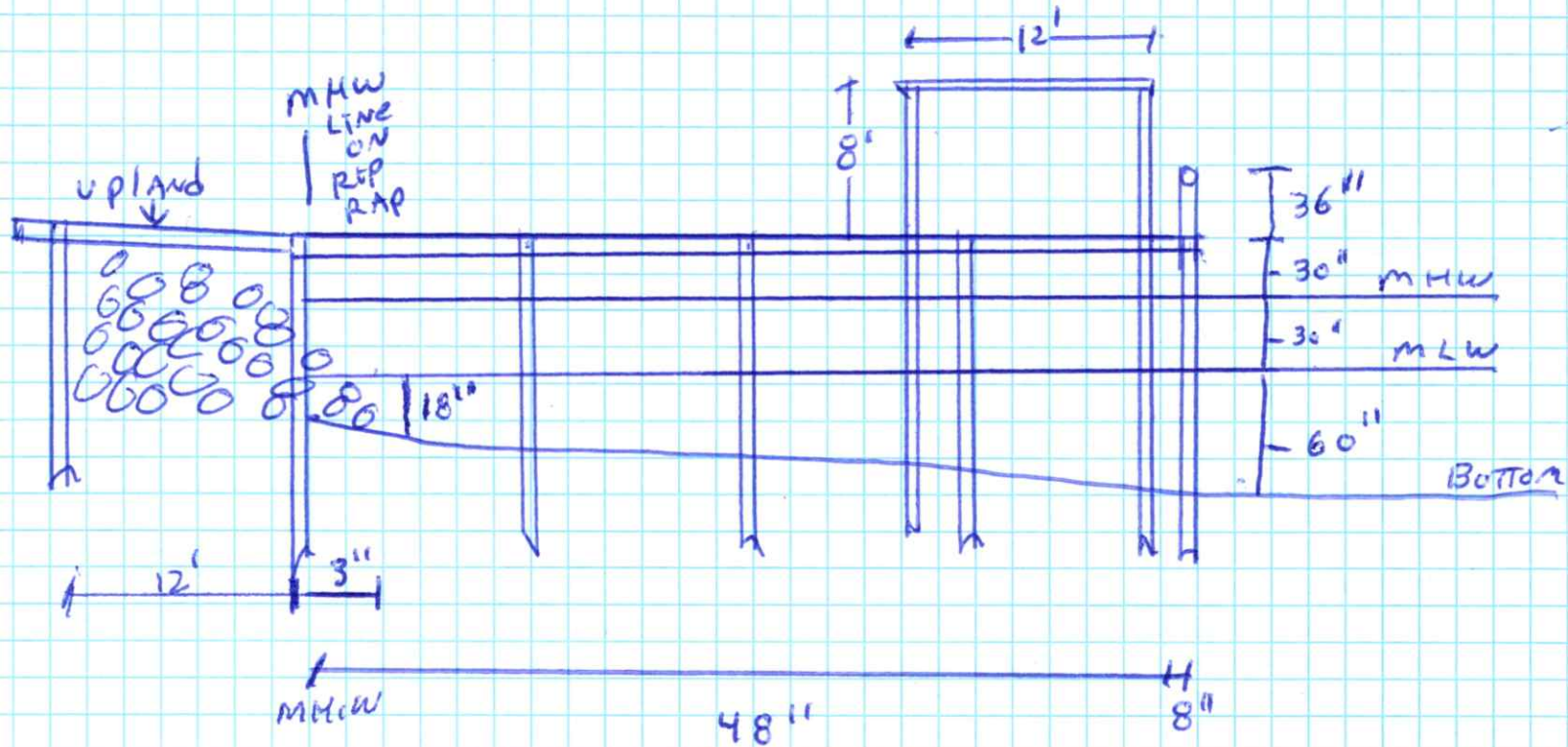
EPC
PERMIT

A-3 IAM

EXHIBIT

SIDE VIEW
3083

SCALE
1" = 10'



Andy Rogers

4204 N. Riverside
Tampa FL 33603

47.25 L.F.

From: [Gile, Michael](#)
To: [Mitchell, Isabella](#)
Subject: Fw: MWP09 - Minor Work Permit Application Result #14749083
Date: Tuesday, November 28, 2023 2:42:37 PM

Bella,

This one will be yours. SQL 78298.

Thank you,
Michael

From: noreply@fs2.formsite.com <noreply@fs2.formsite.com> on behalf of epcinfo at epchc.org <noreply@fs2.formsite.com>

Sent: Monday, November 27, 2023 8:22 PM

To: Gile, Michael <gilem@epchc.org>

Subject: MWP09 - Minor Work Permit Application Result #14749083

External email: Use caution when clicking on links, opening attachments or replying to this email.

NEW	\$650 Review Fee
Fee Amount:	650.00
ItemCode	MWP
Email Address to send Invoice to:	jennifer@lwaterline.com
SecKey	i32Uej-ddxWWEjdna344s2
Item #211	New dock and lift
Owner First Name	Andy
Owner Last Name	Rogers
Mailing Address	2424 W TAMPA BAY BLVD APT F204
City	Tampa
State	FL
Zip Code	33607

Owner Telephone Number(s)	813-299-1562
Email Address	andy@arc-fl.com
Are you using an agent?	Yes
Item #148	Request to be present at site inspection.
Agent First Name	Stiles
Agent Last Name	Byrne
Company Name (if applicable)	Waterline Construction
Street Address	4408 n grady ave
City	Tampa
State	FL
Zip Code	33614
Telephone Number(s)	18139178859
Email Address	stiles@lwaterline.com
Site Street Address	4204 N Riverside Drive
City	Tampa
State	FL
Zip Code	33603
Folio Numbers(s) of Site	166610-0000
Parcel ID:	
Section	
Required	02
Township	
Required	29

Range	
Required	18
Name of Water Body / Waterway at Proposed Project	Hillsborough River
Proposed:	Private Single-Dwelling
Owner	Port Tampa
Check to confirm that your project is not located in critical habitat for smalltooth sawfish or gulf sturgeon, as applicable.	Confirmed
Check to confirm that if your project is located in waters accessible to manatees, the project shall not affect or will not directly or indirectly likely adversely affect manatees, as applicable.	Confirmed
A. Structures	New Work
1) Dock, Observation Deck, Pier, or Elevated Boardwalk (check applicable boxes)	Dock
Item #232	
Length of Shoreline (in linear feet)	
(if applicable)	47.25
Number of Proposed Docks	
(if applicable)	1
Number of Boat Slips / Lifts	
(if applicable)	1
Length from OHW/MHW to Waterward Edge of Structure (in feet)	
(if applicable)	48'
Width of Structure (in feet)	
(if applicable)	24'

Mooring Water Depth at O/MLW (in feet)	
(if applicable)	7'6"
Existing Structure Area (in square feet)	
(if applicable)	0
Proposed Structure Area (in square feet)	
(if applicable)	288
Overall Area of Facility (in square feet)	
(if applicable)	432
To Begin On:	01/01/2024
To Be Completed By:	08/01/2024
Enter any additional remarks for the project.	Basic 4' x 36' walkway to a 12' x 12' head dock and a 12K Boat lift
Public Interest Comment Box:	This project will not adversely affect the above conditions. It is also located in the most suitable spot
1st Adjacent Property Owner Name(s)	Viasolve LLC
Company Name & Title (if applicable)	Viasolve LLC
Mailing Address	4200 N ARMENIA STE 1
City	Tampa
State	Fl
Zip Code	33607
2nd Adjacent Owner	Dan and Claudia Gorman
Mailing Address	4206 N Riverside Drive
City	Tampa

BOUNDARY AND TOPOGRAPHIC SURVEY

SECTION 02, TOWNSHIP 29S, RANGE 18E, HILLSBOROUGH COUNTY

PROPERTY ADDRESS:
 4204 N RIVERSIDE DR.
 TAMPA, FL 33603
 (FOLIO NO. 16616-0000)

DESCRIPTION:
 "RIVER HAVEN" A PORTION OF LOTS 2 AND 3 BLOCK 9 DESC AS FOLLOWS: COMM AT NELY COR OF LOT 5 BLOCK 9 THN RUN ALG WLY RM LINE OF NORTH RIVERSIDE DRIVE S 28 DEG 06 MIN 13 W 120 FT TO POB THN CONT ALG SD RM S 28 DEG 06 MIN 13 SEC W 52.53 FT THN N 76 DEG 12 MIN 45 SEC W 243.03 FT TO MEAN HIGH WATER LINE ALG HILLSBOROUGH RIVER THN N 30 DEG 23 MIN 38 SEC E 104.64 FT THN S 32 DEG 28 MIN 59 SEC E 5.71 FT THN S 68 DEG 58 MIN 32 SEC E 5.61 FT THN N 30 DEG 19 MIN 21 SEC E 8.86 FT THN N 50 DEG 53 MIN 07 SEC W 114.64 FT THN N 81 DEG 28 MIN 17 SEC E 12.03 FT THN LEAVING SD MEAN HIGH WATER LINE THN S 71 DEG 35 MIN 19 SEC E 251.76 FT TO POB

FLOOD ZONE INFORMATION:
 COMMUNITY CITY OF TAMPA - 120114
 MAP/PANEL NO. 1206700351J
 SUFFIX J
 FIRM DATE 19072001
 FLOOD ZONE AE-1 FT

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS.

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A BOUNDARY & TOPOGRAPHIC SURVEY ONLY AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY BOARD, COMMISSION OR OTHER ENTITY.

THE ELEVATIONS OF WELL IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

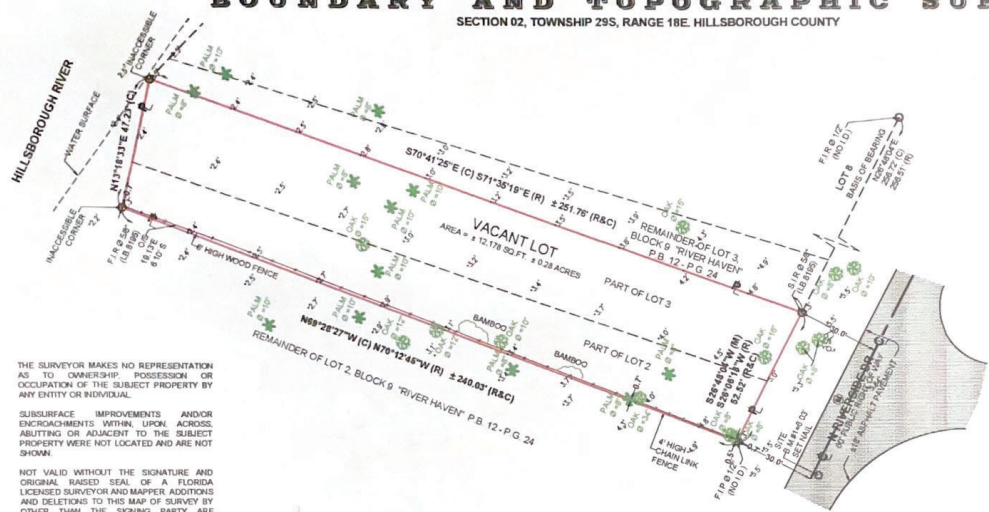
BENCH MARK: GPS/NAI. ELEVATION: 8.03 FEET (NAVD83)

LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

BEARINGS AS SHOWN HEREON ARE BASED UPON AN ASSUMED VALUE OF S27°49'54"W FOR THE NORTH RIGHT-OF-WAY LINE OF N RIVERSIDE DR AS DEPICTED ON THE MAP OF SURVEY.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.



THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

NO TREES FOUND 20' AWAY FROM PROPERTY UNLESS DEPICTED ON THIS MAP.

CERTIFY TO:
JSH INVESTMENTS LLC
AUSTIN BISHOP

SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THIS "BOUNDARY & TOPOGRAPHIC SURVEY" AND THE MAP OF SURVEY RESULTING THEREFROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER THAT SAID "BOUNDARY & TOPOGRAPHIC SURVEY" MEETS THE INTENT OF THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA PURSUANT TO RULE 61-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 47E.027 OF THE FLORIDA STATUTES.

LEGEND

- CENTER LINE
- PROPERTY CORNER
- PROPERTY LINE
- 🌴 PALM & TRUNK TREE
- 🌳 CANOPY & TRUNK TREE
- 🌿 GROUND ELEVATION
- 🛤 PAVEMENT ELEVATION
- ✉ MAILBOX
- 👤 MAN/HOLE (UNKNOWN)
- ⚡ UTILITY POLE

ABBREVIATIONS

- BC=BLOCK CORNER
- CH=CALCULATED
- M=MEASURED
- R=RECORD
- TYP=TYPICAL
- P.B.=PLAT BOOK
- P.G.=PAGE
- F.I.R.=FOUND IRON ROD
- F.I.P.=FOUND IRON PIPE
- ID=IDENTIFICATION
- FC=FENCE CORNER



GPS GLOBAL PROJECTS SURVEYING	PROFESSIONAL SURVEYOR AND MAPPER PHONE: (813) 424-3448 FAX: (813) 388-0111 www.gpsflorida.net	ORIGINAL FIELD DATE: 06/16/2022 JOB NO.: 22-5181 SHEET: 1/1	Digitally signed by Julio C Rodriguez DN: cn=JCS, ou=JCS/Florida, email=julio@jcsurvey.com, c=US Date: 2022.06.28 09:39:57 -0400
	GPS is a registered trademark of Global Positioning Systems, Inc. (GPSI). The use of the GPS logo is a registered trademark of GPSI.	I hereby certify that this map was prepared by me or under my direct supervision and that I am a duly licensed Professional Surveyor and Mapper in the State of Florida.	This map was prepared by me or under my direct supervision and that I am a duly licensed Professional Surveyor and Mapper in the State of Florida.



**Hillsborough River
Interlocal Planning Board
& Technical Advisory Council**

Agenda Item 7. B. 10. Minor Work Permit No. 24-012 (PTB)

Attachments:

1. Minor Work Permit Application



Plan Hillsborough
planhillsborough.org
planner@plancom.org
813 - 272 - 5940
601 E Kennedy Blvd
18th floor
Tampa, FL, 33602



February 23, 2024

Hillsborough County City-County Planning Commission
Attn: Shawn College
County Center – 18th Floor
PO Box 1110
Tampa, FL 33601
(Via Email: colleges@plancom.org)

Minor Work Permit Application No.: 24-012

Applicant: Hillsborough County - Conservation & Environmental Lands Management

Project: Proposed Replacement / Renovation of Lettuce Lake Park Elevated Boardwalk - 4 Phases – 6-ft Wide x +/- 3,829 LF LOA, Total of +/- 22,974 SF Boardwalk and Replace +/- 480 SF Existing Pavilion Structure Located At 6920 E. Fletcher Ave., Tampa, FL; Folio #034781-0000; STR 02-28S-19E; Hillsborough River; Unincorporated Hillsborough County

Tampa Port Authority, d/b/a Port Tampa Bay (PTB), has received the enclosed marine construction application to perform work in waters under the jurisdiction of this Authority, per Section 25, Chapter 95-488 Laws of Florida. A copy of the proposal and drawing(s) for construction work proposed on and adjacent to the Hillsborough River is attached for inclusion in the agenda for the next Hillsborough River Technical Advisory Council.

Please submit any comments and/or questions, as appropriate, regarding the issuance of a PTB marine construction permit for this project (#24-012), in writing, within fourteen (14) days of receipt of this letter to the PTB Environmental Department at 1101 Channelside Dr., Tampa, FL 33602 or via email at bbaity@tampaport.com. If possible, please expedite this project's review. If you have any questions regarding this application, please contact me at (813) 905-5033 or jjulien@tampaport.com.

Sincerely,

Jackelyn Julien

Jackie Julien
Environmental Supervisor
Port Tampa Bay

Cc: File (24-012); bbaity@tampaport.com

Enclosures



Hillsborough County Florida

CONSERVATION & ENVIRONMENTAL LANDS MANAGEMENT

PO Box 1110, Tampa, FL 33601-1110
(813) 272-6573

November 14, 2023

Port Tampa Bay
ATTN: Chris Cooley
Environmental Department
1101 Channelside Dr.
Tampa, FL 33602

Subject: Lettuce Lake Conservation Park Boardwalk Renovation

Dear Mr. Cooley,

Hillsborough County has an urgent need to renovate the Lettuce Lake Conservation Park boardwalk. Returning the boardwalk to service will provide a safe opportunity for the public to experience the natural environment along the Hillsborough River. Lettuce Lake has been the most popular park for recreation since opening in 1982. Completion of the required repairs is a priority project for the County Commission and park patrons.

The existing boardwalk has been heavily utilized since constructed in 1982. The boardwalk requiring renovation covers approximately 3,818 linear feet with an average width of 5 feet for a total area of 19,090 square feet. Periodic maintenance repairs have kept the boardwalk functional, but the current condition has rendered repairs ineffective and complete renovation is necessary.

4 Existing Boardwalk = 3,829 LF /Total Area = 19,145 SF (per 2/23/24 Rev. Dwg.)

Renovation of the boardwalk will include replacing the railings, decking, and substructure in the same locations as the existing boardwalk. Existing pilings will be retained where possible. Any new replacement pilings will be placed in the locations of existing pilings. The elevation of the boardwalk will be raised to reduce frequent flooding of the decking and allow greater light penetration below.

The boardwalk's current width is less than 5 feet as it was constructed prior to the enactment of the Americans with Disabilities Act (ADA). It does not accommodate two-way traffic, nor does it provide sufficient width for emergency access. In accordance with adhering to ADA guidelines, the County must bring the structure up to current standards by widening the inside boardwalk pathway width to 6 feet.

The County requests that the proposed project be reviewed under a Minor Work Permit for elevated boardwalk. The boardwalk does not include docking capabilities or function as a pier. In addition, this project does not affect navigation or hydrology.

Please reference the attached Minor Work Permit Application and plans showing the construction phasing and proposed dimensions. If any additional information is necessary, please contact the project's engineering and environmental consultants, Aaron Silverberg (aaron@auroracivil.com) and Ryan Horstman (rhorstman@esassoc.com).

Sincerely,

Chris Postiglione

Chris Postiglione
Planning & Development Manager

HCFLGOV.NET

BOARD OF COUNTY COMMISSIONERS

Donna Cameron Cepeda
Harry Cohen
Ken Hagan
Pat Kemp
Gwendolyn "Gwen" Myers
Michael Owen
Joshua Wostal

COUNTY ADMINISTRATOR

Bonnie M. Wise

COUNTY ATTORNEY

Christine M. Beck

COUNTY INTERNAL AUDITOR

Peggy Caskey

ASSISTANT COUNTY ADMINISTRATOR

Dexter L. Barge

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FEB 27 2024

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PORT TAMPA BAY

ENVIRONMENTAL DEPARTMENT
1101 Channelside Dr. Tampa, FL 33602
Ph: (813) 905-5031 · Fax: (813) 905-5050
www.tampaport.com

MINOR WORK PERMIT APPLICATION TO PERFORM WORK IN WATERS OF THE HILLSBOROUGH COUNTY PORT DISTRICT

For Official Use Only: Application # 24-012 Date Received: _____

NEW PERMIT REVISION AFTER-THE-FACT WN# _____

SECTION I

1. MINOR WORK PERMIT APPLICATION - Brief Project Description:

Replace existing 2 004 LF of 5' wood boardwalk with 6' PVC boardwalk utilizing existing piles & holes. Minimal replacement of existing piles needed for maintenance.

2. PROPERTY OWNER / APPLICANT INFORMATION

Request to be present at site inspection

First Name: Chris Last Name: Postiglione
Company Name/Title: Hillsborough County - Conservation & Environmental Lands Management
Mailing Address: PO Box 1110
City: Tampa State: Florida Zip Code: 33601
Telephone Number: ~~(813) 571-6984~~ 813-829-2626 / cell # 813-450-6538
Email Address: postiglione@hillsborougcounty.org

3. AUTHORIZED AGENT INFORMATION

Request to be present at site inspection

First Name: Chris Last Name: Weddle, P.E.
Company Name/Title: Aurora Civil Engineering, Inc. / Project Engineer
Mailing Address: 610 E. Morgan Street
City: Brandon State: FL Zip Code: 33510
Telephone Number: 813-643-9907
Email Address: chris@auroracivil.com / aaron@auroracivil.com / ESA - RHorstman@esassoc.com

4. CONTRACTOR INFORMATION

Request to be present at site inspection

First Name: _____ Last Name: _____
Company Name/Title: _____
Mailing Address: _____
City: _____ State: _____ Zip Code: _____
Telephone Number: _____
Email Address: _____

SECTION II

1. LOCATION OF PROPOSED PROJECT

Site Street Address: 6920 E. Fletcher Avenue
City: Tampa State: Florida Zip Code: 33637
Folio Number(s): 034781.0000
Section: 02 Township: 28 Range: 19
Name of Water Body at Project: Hillsborough River

Red Text = Provided by PTB reviewing staff, per project drawings, Applicant/Agent info, HCPA or other available public information. (J), PTB)

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24-012

2. PROPOSED USE

- Private Single-Family Dwelling
- Private Multi-Family Dwelling (Condominium, Apartment, etc.)
- Commercial
- Other (explain): Existing Park

3. OWNER OF SUBMERGED LANDS: TPA/PTB

Leased Port Property or Port Easement (Check box if applicable and attach information.)

4. PREVIOUS TAMPA PORT AUTHORITY PERMITS ISSUED AT THIS LOCATION:

Permit Number(s): #80-063 - Hillsborough County Parks & Recreation Date: _____

5. PROJECT DESCRIPTION

NOTE: Features and dimensions must be carefully shown on the required application drawings. Please review the attached guidelines provided to ensure that the drawings which you have prepared are acceptable.

A. STRUCTURES:

- NEW WORK
- MAINTENANCE
- ADDITION

1) DOCK, OBSERVATION DECK, PIER, OR ELEVATED BOARDWALK

- a. Length of Shoreline: 2,064 Linear Ft.
- b. Number of Proposed Docks: 0 No. of Boat Slips/Lifts: 0 / _____
- c. Length from M/OWH to Waterward Edge of Structure: Refer to ENG. Plans Ft.
- d. Width of Structure: 5 & 6 Ft. Mooring Water Depth at M/OLW: _____ Ft.
- e. Existing Structure Area: 10,320 Sq. Ft.
- f. Proposed Structure Area: ~~12,384~~ 22,974 SF Boardwalk + In-Kind Replacement of 480 SF Existing Pavilion Per 2/23/2024 Revised Dwgs. Sq. Ft.
- g. Overall Area of Facility: _____ Sq. Ft.

2) SEAWALLS, RIP-RAP, REVETMENTS OR OTHER SHORELINE STABILIZATION:

- a. Length of Shoreline at Site: - Linear Ft.
- b. Length of Work Proposed along Shoreline: - Linear Ft.
- c. Seawall Vertical Height: - Ft.
- d. Rip-Rap Slope: Horizontal Distance: - Ft.; Vertical Height: - Ft.
- e. Type of Material: -
- f. Volume: - Cubic Ft. Below MHW/OHW

3) OTHER TYPE OF STRUCTURE: (Please Explain) -

*For Utility Pipeline Projects: Refer to the Guidelines and Engineering Standards for Submerged Land Utility Crossing

B. DREDGING / EXCAVATION

- NEW WORK
- MAINTENANCE

1) DIMENSIONS OF AREAS TO BE DREDGED / EXCAVATED:

- a. Length: _____ Ft. Width _____ Ft.; Total Area: _____ Sq. Ft.
- b. Depths: Existing _____; Proposed _____
- c. Volume: Above MHW _____; Below MHW _____; Total _____ Cubic Ft.
- d. Area: Above MHW _____; Below MHW _____; Total _____ Sq. Ft.

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24 - 012

- 2) TYPE OF MATERIAL: _____
 3) STORAGE OF MATERIAL: On-site Storage Off-site Disposal Site: _____

**If material is to be taken off-site, describe the method of material storage, haul routes, and specify the location with an attached Affidavit of Authorization from the disposal site's property owner, as applicable to the project.*

C. FILLING

- 1) VOLUME: Above MHW _____ ; Below MHW _____ ; Total _____ Cubic Ft.
 2) AREA: Above MHW _____ ; Below MHW _____ ; Total _____ Sq. Ft.
 3) CONTAINMENT: Seawall _____ Dikes _____ Other (explain): _____
 4) TYPE OF MATERIAL: _____
 5) SOURCE OF MATERIAL: On-site Off-site: _____

**Refer to the Fill Checklist for material sampling requirements and other applicable information.*

6. WORK SCHEDULE: To Begin Project On: 12/01/2023 And Be Completed By: 06/01/2023

REMARKS / COMMENTS FOR PROJECT:

SECTION III

PROJECT SITE ADJACENT RIPARIAN PROPERTY OWNERS:
 (Please include Name, Address, Telephone Number, and Email)

TIITF / University of South Florida
 Owner Name(s) _____
RE: USF - Riverfront Park
 Company Name/ Title _____
3900 Commonwealth Blvd.
 Mailing Address _____
Tallahassee, FL 32399-3000
 City, State, Zip Code _____
 Telephone Number/Email _____
(USF Riverfront Park @ 6550 E. Fletcher Ave., Tampa, FL)

Hillsborough River, LLC
 Owner Name(s) _____
 Company Name/ Title _____
2905 Bayshore Blvd., Suite 201
 Mailing Address _____
Tampa, FL 33629-7451
 City, State, Zip Code _____
 Telephone Number/Email _____
(@ 8575 Hidden River Pkwy., Tampa, FL)

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SECTION IV

AFFIDAVIT OF OWNERSHIP OR CONTROL of the property on which the proposed project is to be undertaken
I CERTIFY THAT: (Must Check the Appropriate Box)

- I am the record owner, lessee, or record easement holder of the property described below.
- I am not the record owner, lessee, or record easement holder of the property described below, but I will have the requisite property interest before undertaking the proposed project. (Please Explain in Remarks/Comments Section)

LEGAL DESCRIPTION OF PROJECT PROPERTY: (Use additional sheets, If necessary)

See attached HCPA Property Record for subject site & County Park Info.

CHRIS PASTORANE
Print Name of Owner/Applicant

[Signature]
Signature of Owner/Applicant

Sworn to and subscribed before me at HILLSBOROUGH County, FLORIDA
this 16th day of NOVEMBER 20 23



[Signature]
Notary Public
05/26/2026
My Commission Expires

SECTION V

CERTIFICATION & AUTHORIZATION:

- a. I authorize the agent listed in Section I to negotiate modifications or revisions, when necessary, and accept or assent to any stipulations on my behalf.
- b. I understand I may have to provide any additional information/ data that may be necessary to provide reasonable assurance of evidence to show that the proposed project will comply with applicable water quality standards or other environmental standards both before construction and after the project is completed.
- c. In addition, I agree to provide entry to the project site for inspectors with proper identification or documents as required by law from the environmental agencies for the purpose of making preliminary analyses of the site. Further, I agree to provide entry to the project site for such inspectors to monitor permitted work, if a permit is granted.
- d. Further, I hereby acknowledge the obligation and responsibility for obtaining all of the local, state and federal permits before commencement of any activity.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief, such information is true, complete, and accurate and complete. I further certify that I possess the authority to undertake the proposed activity.

[Signature]
Signature of Owner/Applicant
FOR HILLSBOROUGH COUNTY

11/16/2023
Date

NOTE: This application must be signed by the person who desires to undertake the proposed activity or by an authorized agent. If an agent is applying on behalf of the applicant who is not the property owner, attach proof of authorization for the agent to bind the property owner.

PLEASE SUBMIT COMPLETED APPLICATION, REQUIRED DRAWINGS, AND FEE(S) TO:

TAMPA PORT AUTHORITY
ATTN: ENVIRONMENTAL DEPARTMENT
1101 CHANNELSIDE DR.
TAMPA, FL 33602

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Bob Henriquez
Hillsborough County Property Appraiser

<https://www.hcpafl.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 034781-0000



Owner Information

Owner Name HILLSBOROUGH COUNTY
Mailing Address REAL ESTATE DEPT
 PO BOX 1110
 TAMPA, FL 33601-1110
Site Address 6920 E FLETCHER AVE, TAMPA
PIN U-02-28-19-ZZZ-000001-24750.0
Folio 034781-0000
Prior PIN
Prior Folio 000000-0000
Tax District U - UNINCORPORATED
Property Use 8600 COUNTY OWNED
Plat Book/Page /
Neighborhood 216001.00 | Tampa Palms South Area
Subdivision ZZZ | UNPLATTED

Value Summary

Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$4,511,561	\$4,511,561	\$4,511,561	\$0
Public Schools	\$4,511,561	\$4,511,561	\$4,511,561	\$0
Municipal	\$4,511,561	\$4,511,561	\$4,511,561	\$0
Other Districts	\$4,511,561	\$4,511,561	\$4,511,561	\$0

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information

Book / Page	Instrument	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
3408 / 1774		08	1978	WD	Unqualified	Vacant	\$455,000
3408 / 1776		08	1978	WD	Unqualified	Vacant	\$64,900
3089 / 1475		01	1976		Unqualified		\$100
2180 / 0823		01	1971		Qualified		\$3,300

24-012

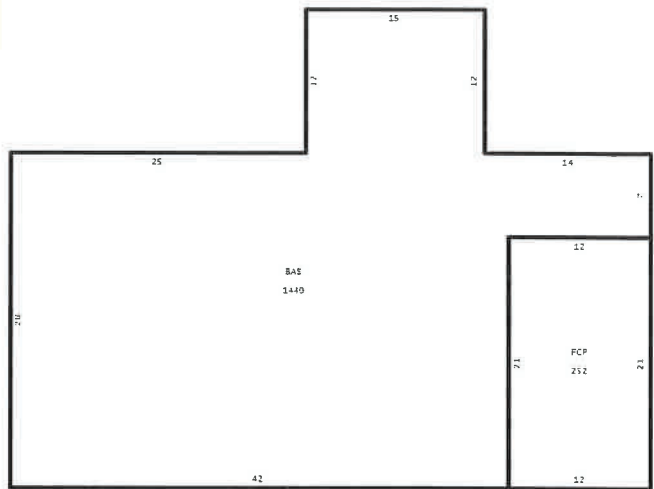
Building Information

Building 1

Type 01 | SINGLE FAMILY
 Year Built 1980

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Concrete Block
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	3	Gable or Hip
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	8	Carpet
Heat/AC	2	Central
Architectural Style	3	Basic
Condition	3	Average
Bedrooms	2.0	
Bathrooms	1.0	
Stories	1.0	
Units	1.0	



Building 1 subarea

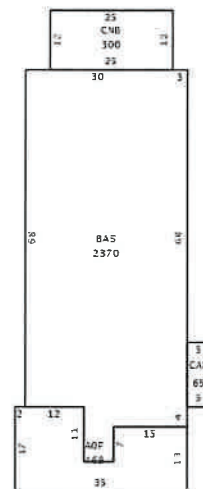
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,440	1,440	\$134,991
FCP	252		\$5,906
Totals	1,692	1,440	\$140,897

Building 2

Type 65 | AUTO SERVICE/REPAIR GARAGE
 Year Built 1982

Building 2 Construction Details

Element	Code	Construction Detail
Class	C	Concrete Block
Exterior Wall	5	Concrete Block
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	0	None
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	14.00	



Building 2 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
AOF	469	469	\$56,851
BAS	2,370	2,370	\$136,789
CAN	65		\$1,154
CNB	300		\$1,732
Totals	3,204	2,839	\$196,526

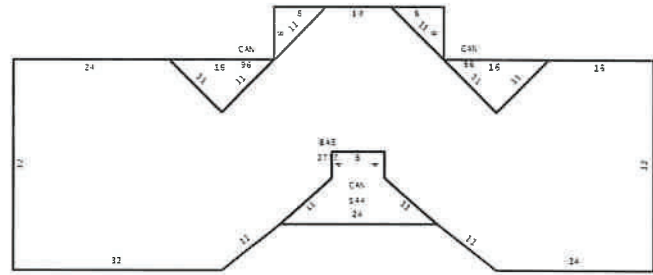
24-012

Building 3

Type 49 | OFFICE <3 STORY
 Year Built 1982

Building 3 Construction Details

Element	Code	Construction Detail
Class	D	Wood Frame
Exterior Wall	4	Wood/Masonry Siding
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	3	Asphalt/Comp. Shingle
Interior Walls	5	Drywall
Interior Flooring	4	Vinyl
Interior Flooring	8	Carpet
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	12.00	



Building 3 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	2,777	2,777	\$432,234
CAN	144		\$6,693
CAN	96		\$4,514
CAN	96		\$4,514
Totals	3,113	2,777	\$447,955

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	2	1982	0	0	27,919.00	\$72,952
0020	ASPHALT PAVING	2	1982	0	0	201,050.00	\$223,769
0500	OPEN CABANA	2	1982	0	0	2,975.00	\$22,134
0500	OPEN CABANA	2	1982	0	0	2,788.00	\$20,743
0500	OPEN CABANA	2	2013	16	17	272.00	\$2,590
0651	SHED NOT PERMANENTLY AFFIXED	2	1982	0	0	1.00	\$0
0420	GARAGE WOOD	2	1982	40	20	800.00	\$13,120
0120	DECK WOOD	0	2009	0	0	745.00	\$4,507
0080	WALK BRICK	0	2009	0	0	144.00	\$1,582
0290	FENCE SPLIT RAIL	2	2009	0	0	1,050.00	\$2,856
0460	CARPORT	2	2009	22	18	396.00	\$2,883
0651	SHED NOT PERMANENTLY AFFIXED	2	2009	0	0	1.00	\$0
0520	CANOPY	2	2009	13	13	169.00	\$1,257
0520	CANOPY	2	2009	20	20	400.00	\$2,976
0520	CANOPY	2	2009	30	11	330.00	\$2,455
0520	CANOPY	2	2009	21	6	126.00	\$937
0110	WALK CERAMIC TILE	2	2009	0	0	684.00	\$9,941
0651	SHED NOT PERMANENTLY AFFIXED	1	2009	0	0	1.00	\$0
0060	CONCRETE PAVEMENT	2	2009	0	0	21,489.00	\$33,690
0820	BRIDGE PEDESTRIAN	1	1996	0	0	17,500.00	\$1,099,963
0120	DECK WOOD	1	2009	0	0	764.00	\$4,622
0110	WALK CERAMIC TILE	1	2009	0	0	2,587.00	\$37,599
0080	WALK BRICK	1	2009	0	0	1,048.00	\$11,512
0505	ACCESSORY BUILDING	1	1982	0	0	1,140.00	\$36,252
0870	GUARD HOUSE	1	2013	20	8	160.00	\$21,216

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
995H	Acreage Class 5	AR	0.0	0.0	AC ACREAGE	90.00	\$1,987,875
9610	LOWLANDS	AR	0.0	0.0	AC ACREAGE	145.00	\$108,750

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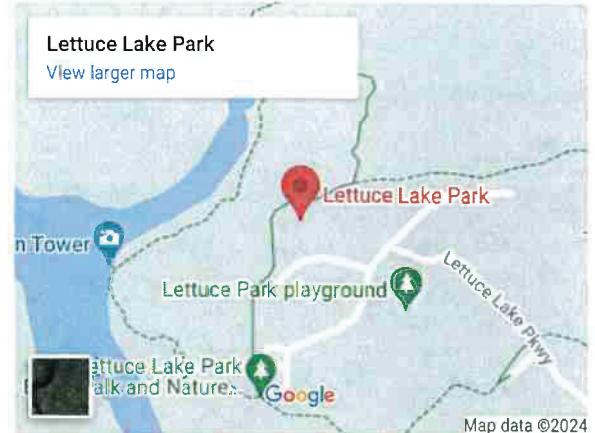
Legal Description

THAT PART OF E 1/4 E AND SELY OF RIVER LESS THAT PART OF NW 1/4 OF SE 1/4 OF NE 1/4 S AND E OF RIVER LESS S 50 FT TOGETHER WITH ALL THAT PT OF N 7/8 OF W 1/2 OF E 1/2 AND THAT PT OF E 1/2 OF W 1/2 S & E OF RIVER & SW 1/4 OF SW 1/4 OF SE 1/4 LESS S 100 FT FOR R/W TOGETHER WITH SE 1/4 OF SW 1/4 OF SE 1/4 LESS S 100 FT FOR R/W

24-012

Lettuce Lake Park

Home / Locations / Lettuce Lake Park



⚠️ Some amenities closed at Lettuce Lake
EFFECTIVE 08/1/2023 until further notice, the below amenities located at Lettuce Lake Conservation Park have been temporarily suspended due to scheduled maintenance. Thank you for your patience and understanding.

- Special Events
- Playground Usage
- Shelter 1 Rentals
- Shelter 2 Rentals
- Shelter 3 Rentals
- Shelter 4 Rentals

Lettuce Lake Park

6920 East Fletcher Avenue
Tampa, FL 33637

(813) 987-6204

HOURS

Spring/Summer:
8 AM to 7 PM
Fall/Winter:
8 AM to 6 PM

FEES

\$2 per vehicle Up to 8 people per vehicle
Rentals are extra

AMENITIES

- | | | |
|-----------------|-----------------|-----------|
| Paved trail | Barbecue Grills | Boat Dock |
| Picnic Shelters | Playground | Restrooms |
| Visitors Center | Pets Allowed | |

Lettuce Lake Conservation Park is one of Hillsborough County's most visited parks. More than half of the park's property lies in the natural floodplain of the Hillsborough River, consisting of a hardwood swamp forest. The remainder of the park consists of hardwood hammocks and pine flatwoods plant communities.

The park features wooded picnic areas and playgrounds, a 1.25-mile paved exercise trail and 3,500-foot boardwalk with an observation tower provides scenic views of the Hillsborough River. Park ranger

24-012

and volunteer-led nature education tours are available on weekends. Canoe and kayaks rentals provide up-close encounters with a variety of aquatic birds and wildlife.

Please Note: Pets and bicycles are not permitted on the boardwalk.

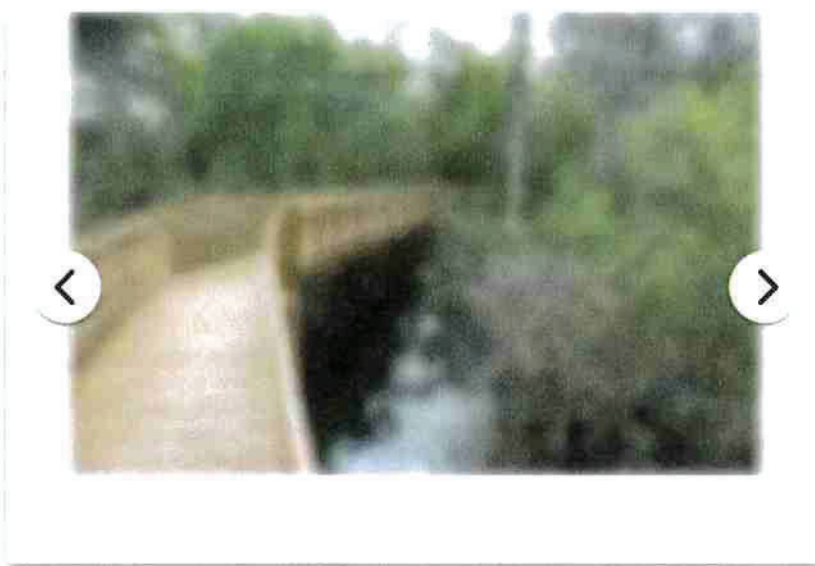
Canoeing and kayaking

Canoes and kayaks can be rented on site at the park's entry station. [See other locations.](#)

Rentals & Fees

- Local rental (one park) for up to four hours: \$25
- Hourly fee for each additional hour: \$10
- *Fees include tax
- [Read rules and expectations](#)
- [Lettuce Lake Brochure](#)
- [Lettuce Lake Trail Map](#)
- [Rent a Shelter](#)

Gallery



EVENTS



Last Modified: 1/16/2024, 11:28:17 AM

24-012

Hours

Spring/Summer 8 a.m. to 7 p.m.
Fall/Winter 8 a.m. to 6 p.m.

Fees

- \$2 per vehicle (Up to 8 people)
- Canoe/Kayak Rentals:
\$25 for 4 hours

Shelters

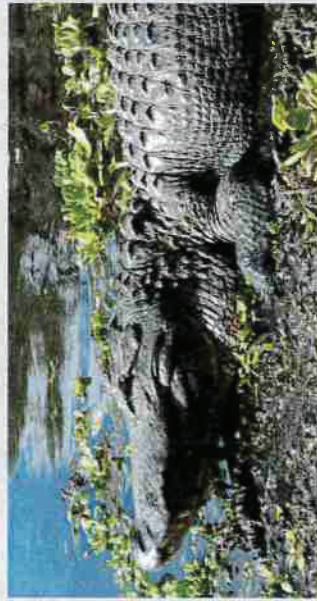
- To rent a shelter, visit www.HCFLGov.net/Conservation
Weather conditions may influence shelter availability.

Annual Passes

- Annual entry and boat launch passes are available for purchase online. Discounted annual entry passes are available for veterans, first responders, and law enforcement who live or work in Hillsborough County.

Park Rules

- Dogs must be on a 6-foot hand-held leash.
- Alcohol and/or intoxicated people are not permitted in the park.
- Pets, bicycles, running, skates, and/or similar devices are not permitted on the boardwalk.
- Florida law requires bicyclists under the age of 16 to wear helmets.



Visit HCFLGov.net/Conservation
for a complete list of rules
and regulations.



Lettuce Lake Conservation Park

HCFLGov.net/Conservation



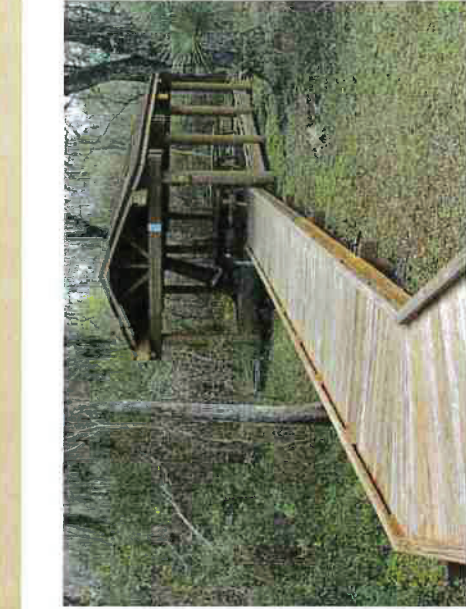
Lettuce Lake Conservation Park
6920 E. Fletcher Ave.
Tampa, FL 33637
(813) 987-6204

Conservation Parks Administration Office
13173 N. U.S. Hwy. 301
Thonotosassa, FL 33592
(813) 829-2626
ConservationParksAdmin@HCFLGov.net



Hillsborough County Florida
Conservation & Environmental
Lands Management














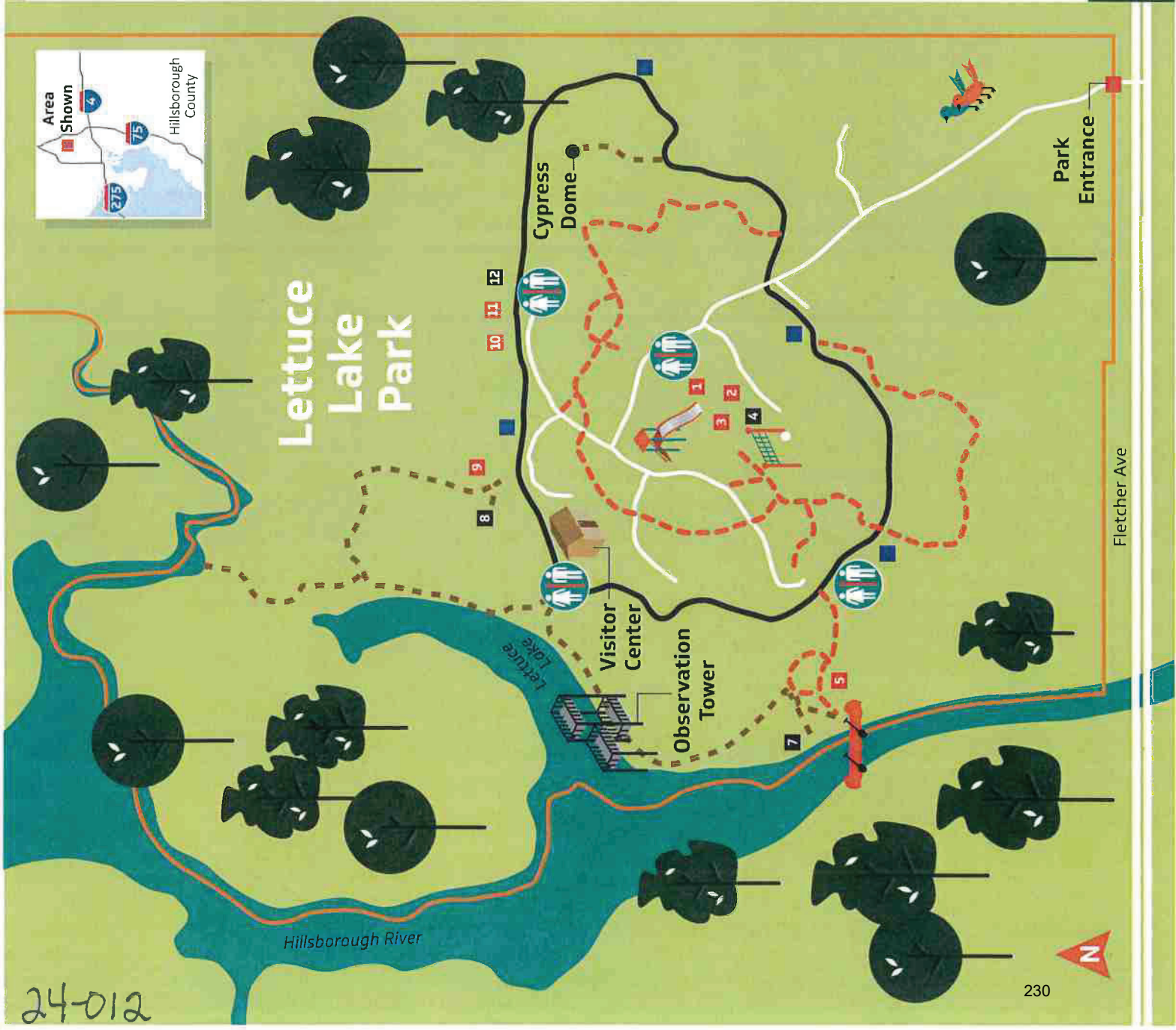


About the park

Lettuce Lake Conservation Park offers something for everyone, and is one of the best locations in the County to view wildlife. Wooded picnic areas and playgrounds are family favorites. A 1.25-mile paved exercise trail, complete with a fitness course, meanders through the park. An interpretive center with exhibits is the gateway to a 3,500-foot boardwalk featuring an observation tower where visitors can view an expanse of the park and see abundant wildlife such as alligators, limpkins, roseate spoonbills, and barred owls. With canoes and kayaks available for rent, visitors can experience the park from an entirely different perspective.

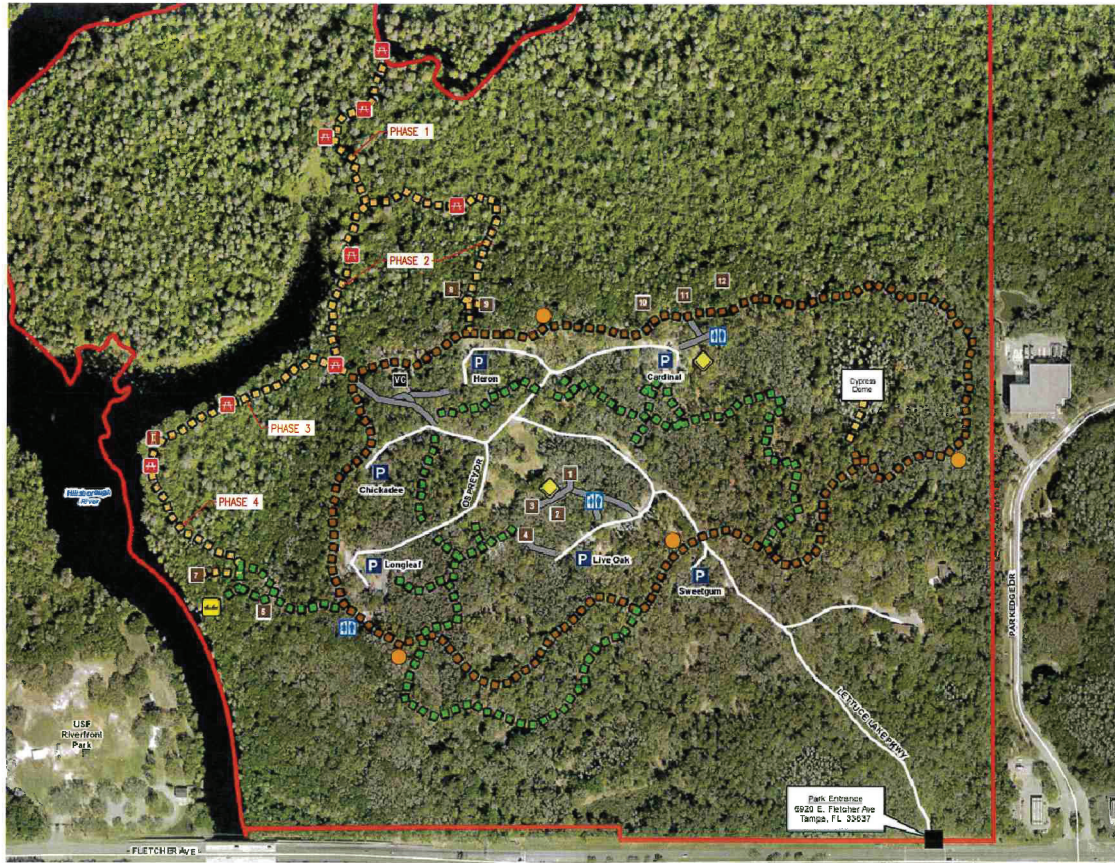
Legend

-  Park Boundary
-  Hiking Trail
-  Boardwalk
-  Hammock Trail (1.25 Mile Paved Loop)
-  Restrooms
-  Picnic Shelter
-  Rental Shelter
-  Exercise Station
-  Playground
-  Canoe Launch
-  Volleyball Pits



24-012

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- LEGEND**
- Park Entrance
 - Park Boundary
 - Paved Road
 - Paved Sidewalk
 - Parking
 - Restroom
 - Shelter
 - Park Bench
 - Playground
 - Observation Tower
 - Exercise Station
 - Canoe Launch
 - Visitor Center

- PUBLIC TRAILS**
- Hiking Trail - 1.2 miles
 - Hammock Trail - 1.3 miles
 - Boardwalk - 0.8 miles

SITE DATA
 PROJECT ACREAGE: 235 AC.
 ADDRESS: 6920 E FLETCHER AVE, TAMPA
 PARCEL ID: U-02-28-19-222-000001-24750.0
 OWNER: HILLSBOROUGH COUNTY
 SECTION 02 / TOWNSHIP 28S / RANGE 19E
 POLIC: 034791-0000
 CURRENT ZONING: AR
 LAND USE CODE: 8600
 PROPOSED USE: 8600
 FLOOD ZONE: X, AE
 FEMA FLOOD MAP: 12057C0230H, 8/28/2008
 NO ADDITIONAL IMPERVIOUS AREAS PROPOSED.
 REPLACEMENT OF EXISTING BOARDWALK FOR MAINTENANCE AND ACCESSIBILITY PURPOSES.

REVISED
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FEB 23 2024
 ENVIRONMENTAL DEPT



Digitally signed
 by Christopher E
 Weddle
 Date: 2024.02.23
 11:13:52 -05'00'

This item has been digitally signed and sealed by Christopher E. Weddle, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CHRISTOPHER E. WEDDLE, P.E.
 FLORIDA P.E. No. 32446
 AURORA CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION No. 00008909

PHASING MAP

LETTUCE LAKE BOARDWALK

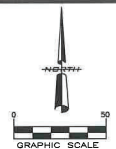
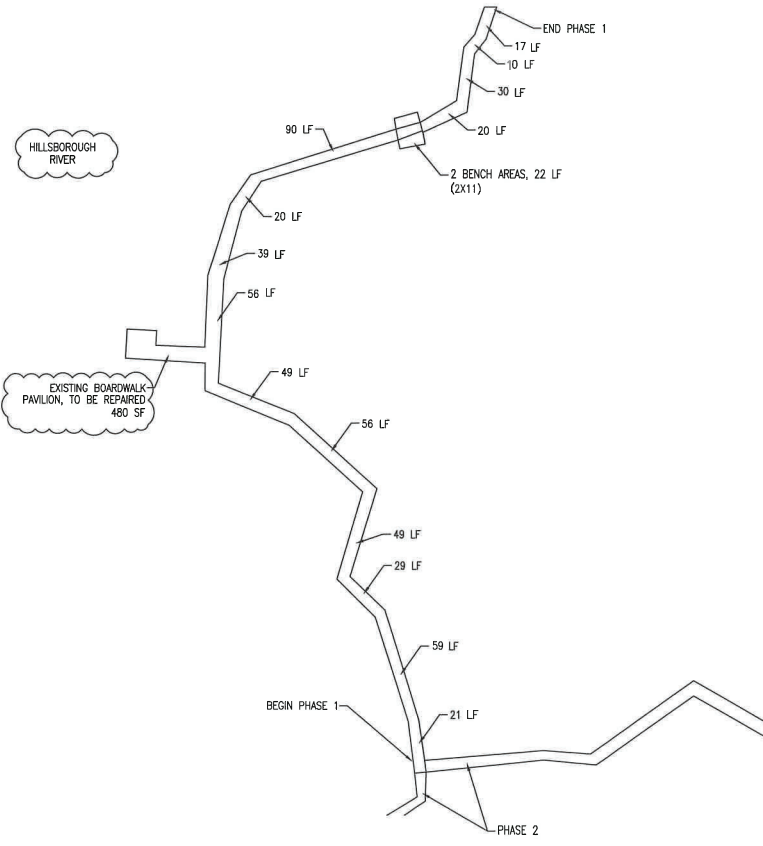
HILLSBOROUGH COUNTY
 TAMPA, FLORIDA 33601

AURORA

AURORA CIVIL ENGINEERING, INC.
 610 E. Morgan Street, Tampa, FL 33616 (813)464-2077

24-012

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SITE DATA
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 ADDRESS: 6920 E FLETCHER AVE, TAMPA
 PARCEL ID: U-92-28-1B-222-00001-24750.0
 OWNER: HILLSBOROUGH COUNTY
 SECTION 02 / TOWNSHIP 28S / RANGE 19E
 FOLIO: 034761-0000
 CURRENT ZONING: AR
 LAND USE CODE: 8800
 PROPOSED USE: 8800
 FLOOD ZONE: X1 AE
 FEMA FLOOD MAP: 12057C0230H, 8/28/2008
 NO ADDITIONAL IMPERVIOUS AREAS PROPOSED.
 REPLACEMENT OF EXISTING BOARDWALK FOR MAINTENANCE AND ACCESSIBILITY PURPOSES.

PHASE 1
 GENERAL SCOPE OF WORK:
 DEMO / DISPOSE & REPLACE
 567 LF OF 5' WIDE (INSIDE CLEARANCE) P/T BOARDWALK WITH COMPOSITE, 2,835 SF TOTAL
 PROPOSED:
 567 LF 6' WIDE (INSIDE CLEARANCE) COMPOSITE
 3,402 SF

<p>PHASE 1</p> <p>LETTUCE LAKE BOARDWALK</p> <p>HILLSBOROUGH COUNTY BOX 1100 TAMPA, FLORIDA 33601</p> <p>AURORA CIVIL ENGINEERING, INC. 610 N. HARRIS STREET, SUITE 100 TAMPA, FLORIDA 33606-2807</p>	<p>2 of 5</p>
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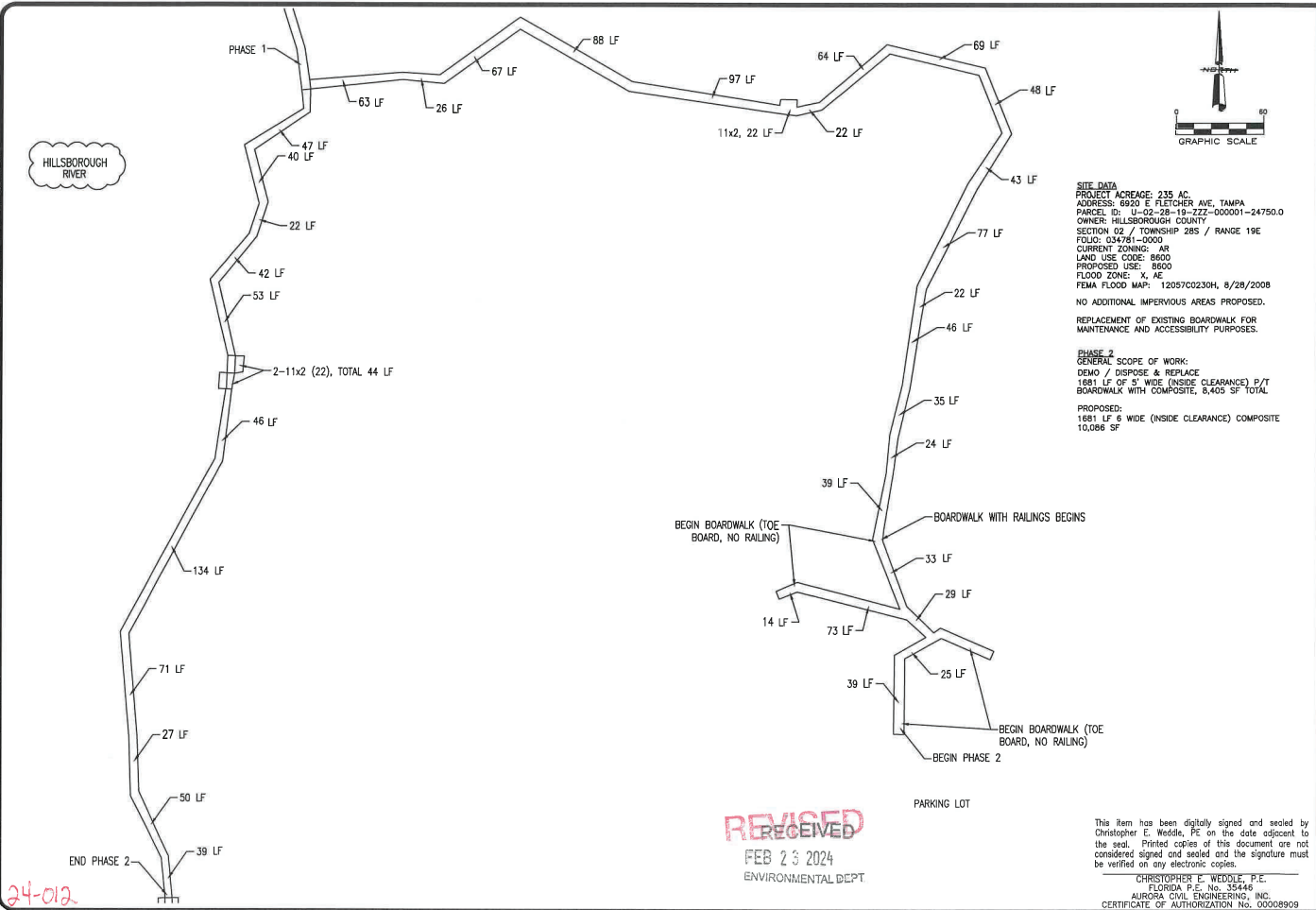
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 ENVIRONMENTAL DEPT

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CHRISTOPHER E. WEDDLE, P.E.
 FLORIDA P.E. No. 35446
 AURORA CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION No. 00008900

24-012

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SITE DATA
 PROJECT ACRES: 235 AC
 ADDRESS: 6920 E FLETCHER AVE, TAMPA
 PARCEL ID: U-02-28-19-222-000001-24750.0
 OWNER: HILLSBOROUGH COUNTY
 SECTION 02 / TOWNSHIP 28S / RANGE 19E
 FOLIO: 034761-0000
 CURRENT ZONING: AR
 LAND USE CODE: 8600
 PROPOSED USE: 8600
 FLOOD ZONE: X, AE
 FEMA FLOOD MAP: 12057C0230H, 8/28/2008
 NO ADDITIONAL IMPERVIOUS AREAS PROPOSED.
 REPLACEMENT OF EXISTING BOARDWALK FOR MAINTENANCE AND ACCESSIBILITY PURPOSES.

PHASE 2
 GENERAL SCOPE OF WORK:
 DEMO / DISPOSE & REPLACE
 1681 LF OF 5' WIDE (INSIDE CLEARANCE) P/T BOARDWALK WITH COMPOSITE, 8,403 SF TOTAL
 PROPOSED:
 1681 LF 6 WIDE (INSIDE CLEARANCE) COMPOSITE
 10,086 SF

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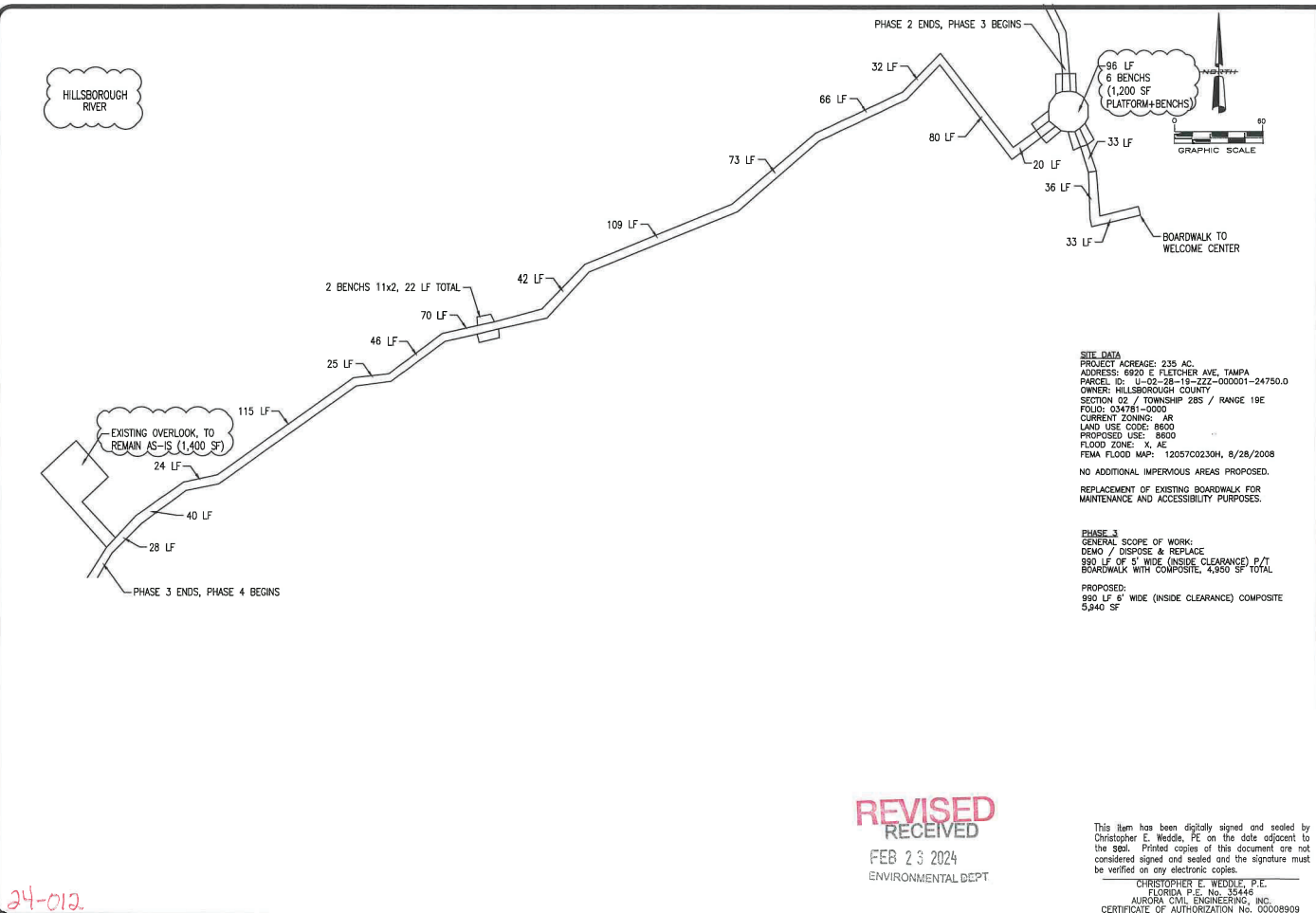
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CHRISTOPHER E. WEDDLE, P.E.
 FLORIDA P.E. No. 35446
 AURORA CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION No. 00008909

<p>PHASE 2</p> <p>LETTUCE LAKE BOARDWALK</p> <p>HILLSBOROUGH COUNTY TAMPA, FLORIDA 33601</p> <p>AURORA CIVIL ENGINEERING, INC. 610 E. Morgan Street, Tallahassee, FL 32304 (904)364-2007</p>	<p>3 of 5</p>
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24-012

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SITE DATA
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 ADDRESS: 6920 E FLETCHER AVE, TAMPA
 PARCEL ID: U-02-28-19-22-00001-24750.0
 OWNER: HILLSBOROUGH COUNTY
 SECTION 02 / TOWNSHIP 28S / RANGE 19E
 POLY: 034381-0000
 CURRENT ZONING: AR
 LAND USE CODE: 8600
 PROPOSED USE: 8600
 FLOOD ZONE: X, AE
 FEMA FLOOD MAP: 12057C0230H, 8/28/2008
 NO ADDITIONAL IMPERVIOUS AREAS PROPOSED.
 REPLACEMENT OF EXISTING BOARDWALK FOR MAINTENANCE AND ACCESSIBILITY PURPOSES.

PHASE 3
 GENERAL SCOPE OF WORK:
 DEMO / DISPOSE & REPLACE
 930 LF OF 6' WIDE (INSIDE CLEARANCE) P/T BOARDWALK WITH COMPOSITE, 4,950 SF TOTAL
 PROPOSED:
 990 LF 6' WIDE (INSIDE CLEARANCE) COMPOSITE
 5,940 SF

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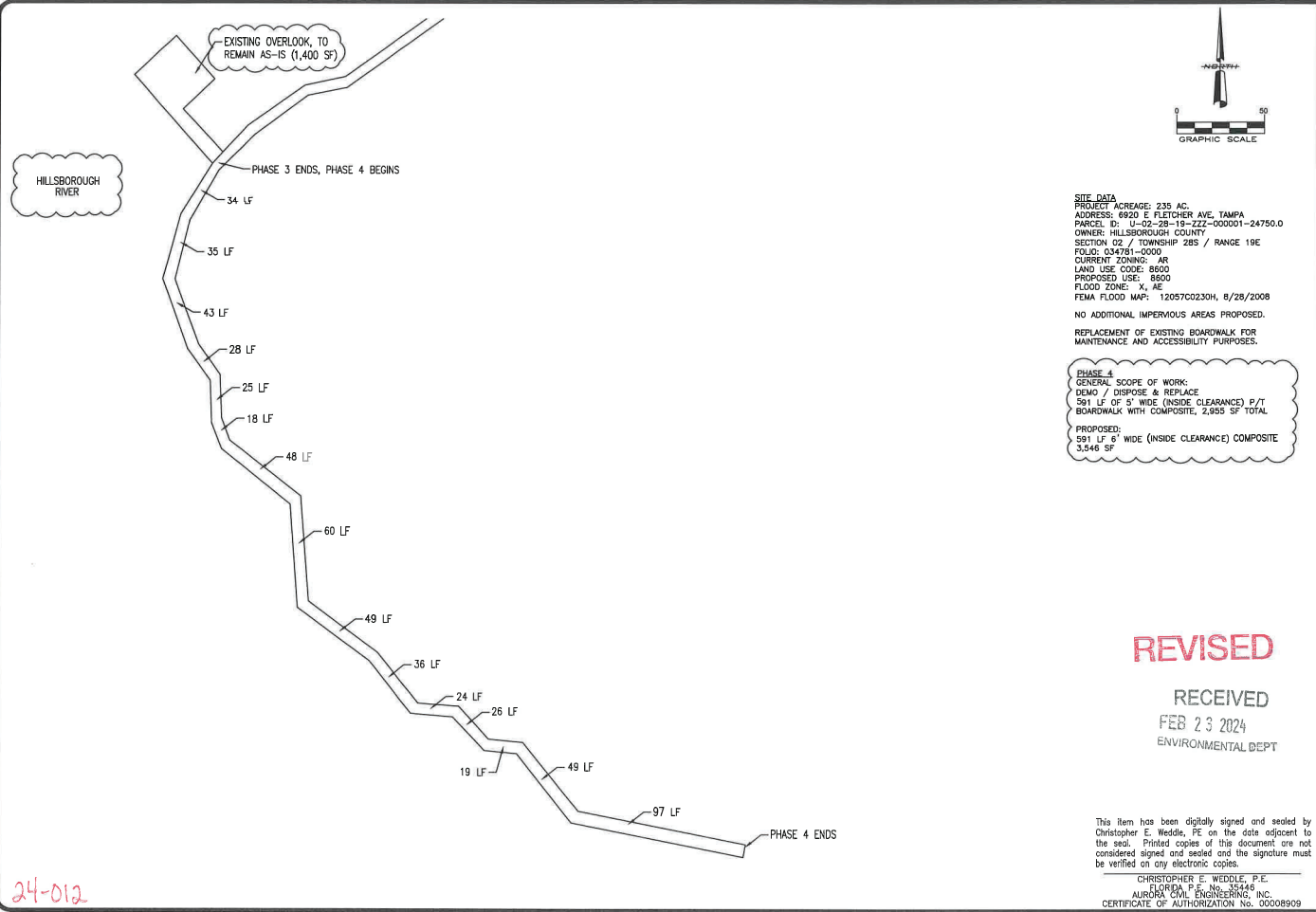
CHRISTOPHER E. WEDDLE, P.E.
 FLORIDA P.E. No. 35446
 AURORA CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION No. 00008909

<p>PHASE 3</p>	<p>LETUCE LAKE BOARDWALK</p>
<p>HILLSBOROUGH COUNTY TAMPA, FLORIDA 33601</p>	
	
<p>4 of 5</p>	

24-012

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SITE DATA
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 PARCEL ID: U-02-28-19-222-000001-24750.0
 OWNER: HILLSBOROUGH COUNTY
 SECTION 02 / TOWNSHIP 28S / RANGE 19E
 FELID: 034781-0000
 CURRENT ZONING: AR
 LAND USE CODE: 6500
 PROPOSED USE: 6500
 FLOOD ZONE: X, AE
 FEMA FLOOD MAP: 12057C0230H, 8/28/2009
 NO ADDITIONAL IMPERVIOUS AREAS PROPOSED.
 REPLACEMENT OF EXISTING BOARDWALK FOR MAINTENANCE AND ACCESSIBILITY PURPOSES.

PHASE 4
 GENERAL SCOPE OF WORK:
 DEMO / DISPOSE & REPLACE
 591 LF OF 5' WIDE (INSIDE CLEARANCE) P/T BOARDWALK WITH COMPOSITE, 2,955 SF TOTAL
 PROPOSED:
 591 LF 6' WIDE (INSIDE CLEARANCE) COMPOSITE
 3,545 SF

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CHRISTOPHER E. WEDDLE, P.E.
 FLORIDA P.E. No. 32449
 AURORA CIVIL ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION No. 00008909

SHEET NO. PROJECT NO. DATE DRAWN BY CHECKED BY TITLE	PHASE 4
LETTUCE LAKE BOARDWALK HILLSBOROUGH COUNTY TAMPA, FLORIDA 33601	
5 of 5	